

MOHONK PRESERVE - BROOK FARM HOUSE

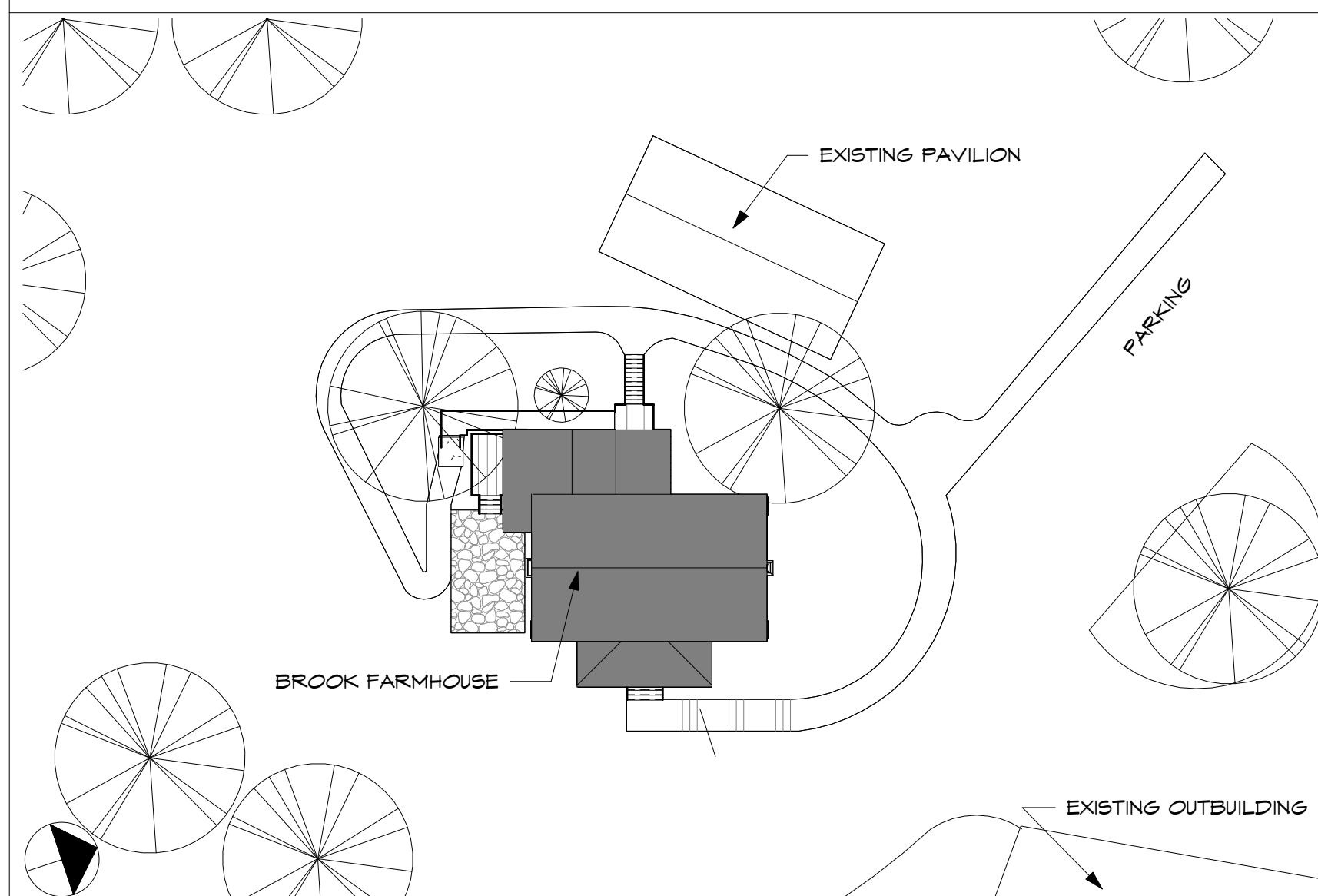
CONSTRUCTION DOCUMENTS FOR

HISTORIC REHABILITATION AND OFFICE SPACE CONVERSION

RENDERING

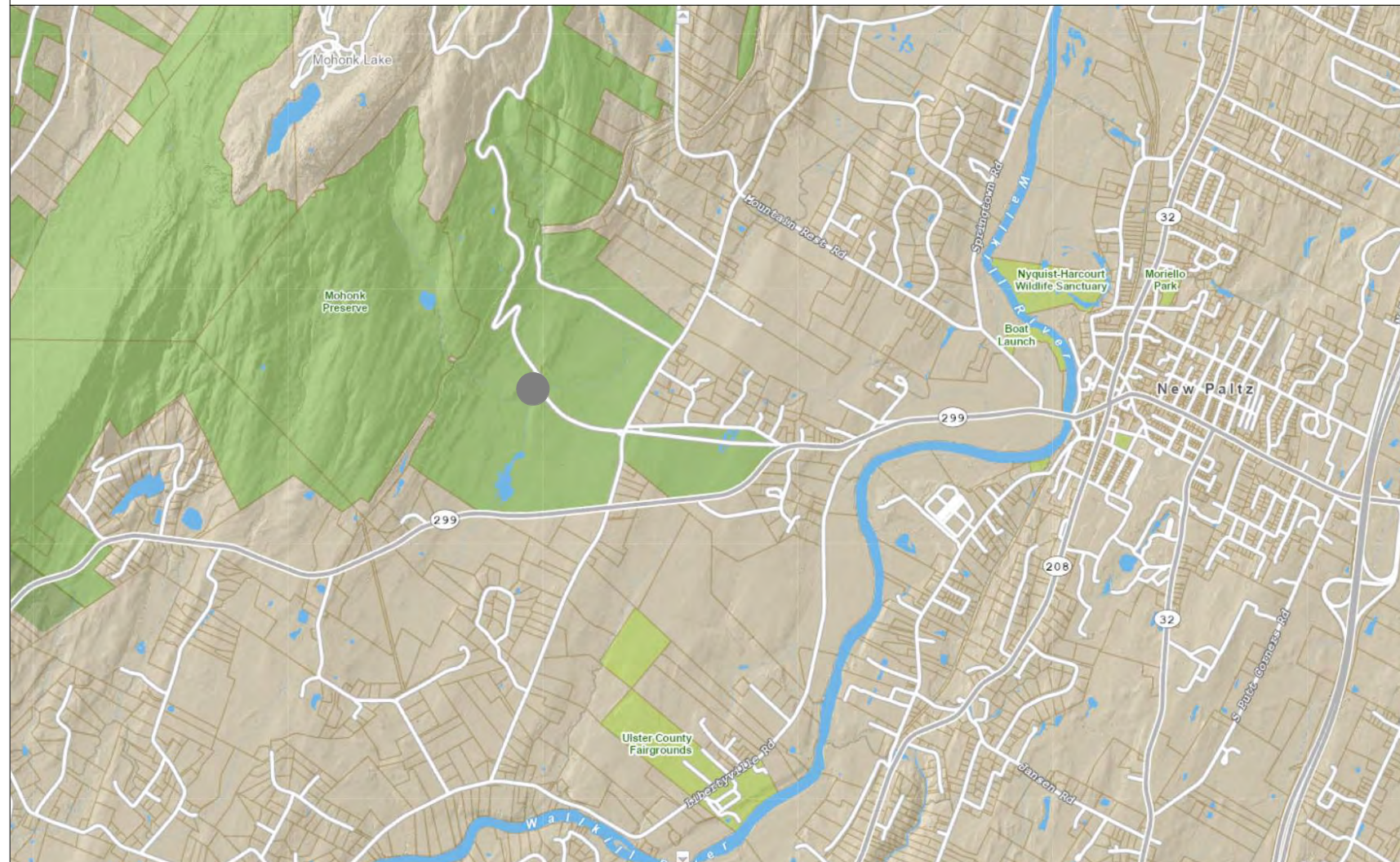


SITE PLAN 1" = 30'



VICINITY MAP

● = DENOTES SITE LOCATION



PROJECT DESCRIPTION

PROJECT DESCRIPTION: RENOVATE THE EXISTING STRUCTURE TO UPGRADE TO MODERN CODES, MAKE NECESSARY REPAIRS, AND REORGANIZE INTERIOR SPACES FOR USE AS OFFICES, GATHERING SPACE AND STORAGE. THE MAJORITY OF THE WORK WILL BE COMPLETED WITHIN THE EXISTING BUILDING FOOTPRINT, WITH SOME EXTERIOR IMPROVEMENTS.

THE EXTERIOR OF THE BUILDING IS BEING RESTORED TO COMPLY WITH THE U.S. DEPARTMENT OF THE INTERIOR NATIONAL PARKS SERVICE NATIONAL REGISTER OF HISTORIC PLACES.

GROSS BUILDING AREA: APPROX. 3,000 SF

- ALTERNATE #001:
REMOVE AND REPLACE WINDOWS WITH MARVIN ULTIMATE SERIES NEW CONSTRUCTION DOUBLE HUNG WINDOWS WITH SDLS
- ALTERNATE #002:
REPAIR, SCRAPE AND PAINT EXISTING HISTORIC WINDOWS
- REMOVE AND REPLACE ALUMINUM STORM WINDOWS WITH NEW PERIOD APPROPRIATE STORM WINDOWS
- ALTERNATE #003:
PREPARE SURFACE AND INSTALL THIN BRICK FINISH ON SOUTH CHIMNEY (OVER PARGINGS)
- ALLOWANCES:
1. WINDOW DRIP CAPS
HOLD AN ALLOWANCE FOR APPROXIMATELY 27 REPLACEMENT WOOD DRIP CAPS

GENERAL NOTES

- THE CONTRACTORS ARE TO VISIT THE SITE AND THOROUGHLY ACQUAINT THEMSELVES WITH ALL EXISTING CONDITIONS, TO CHECK AND VERIFY ALL CONDITIONS, PROJECT SCOPE, ETC. AND REPORT TO THE ARCHITECT & ENGINEERS ANY ERRORS, OMISSIONS, OR VARIATION FROM THE INTENT OF PLANS, PRIOR TO THE START OF WORK.
- CONTRACTORS ARE TO PROTECT THE PUBLIC AND PREMISES, DURING THE PERIOD OF CONSTRUCTION WITH ADEQUATE SHORING, BRACING, FENCING, LIGHTING, BARRICADES, ETC. PRIME TRADE CONTRACTORS SHALL COORDINATE CONSTRUCTION OPERATIONS, SEQUENCING, ETC. WITH OWNER.
- CONTRACTORS ARE TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.
- CONTRACTOR TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT, IN WRITING, ABOUT ANY DISCREPANCIES.
- CONTRACTOR TO PROVIDE UMBRELLA INSURANCE AND INSURE OWNER, ARCHITECT, AND ARCHITECT'S CONSULTANTS AS ADDITIONAL INSURED
- CONTRACTORS ARE TO COORDINATE LOCATIONS OF PIPING, STRUCTURAL FRAMING, ETC. TO DETERMINE SPACE REQUIREMENTS FOR EACH SYSTEM AND TRADE.
- CONTRACTOR TO PROVIDE ALL FASTENERS, BRACKETS, HANGERS AND/OR MISCELLANEOUS ACCESSORIES FOR PROPER INSTALLATION OF ALL ELEMENTS OF CONSTRUCTION IN ACCORDANCE WITH GENERALLY ACCEPTED STANDARDS AND AS PER MANUFACTURERS SPECIFICATIONS FOR INSTALLATION.
- THE EXACT LOCATION OF ALL HEATING VENTILATION PLUMBING AND ELECTRICAL SYSTEMS ARE TO BE COORDINATED WITH OWNER AND MECHANICAL CONTRACTOR.
- NO DRAWINGS TO BE SCALED; USE DIMENSIONS ONLY.
- ALL FINISH MATERIALS TO BE AS LISTED IN SPECIFICATION MANUAL.
- BLOCKING IN THE WALL SHALL BE PROVIDED FOR ALL WALL MOUNTED ITEMS AND AT ALL OTHER LOCATIONS WHERE STABILITY IS A FACTOR. COORDINATE BLOCKING DRAWINGS FOR LOCATIONS OF BATHROOM, KITCHEN, AND OTHER WALL MOUNTED ACCESSORIES. COORDINATE BLOCKING WITH MECHANICAL ENGINEERS DRAWINGS FOR EQUIPMENT MOUNTING AND HEIGHTS.
- UNLESS OTHERWISE NOTED, ALL WOOD FRAMING TO BE SPF #2 OR STRONGER.
- ALL GYPSUM BOARD IS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. ALL JOINTS SHALL BE TAPED, SPACKLED, AND NEATLY SANDED TO FORM SMOOTH, EVEN SURFACES THAT ARE READY TO RECEIVE FINISHES. PATCH ALL EXISTING SURFACES TO BE PLUMB AND SANDED TO FORM SMOOTH, EVEN SURFACES READY TO RECEIVE FINISHES.
- PROVIDE PAPER-FACED "NO-COAT" OR SIMILAR CORNER BEADS AT EXTERIOR CORNERS AND PLASTIC TRIM AT ALL EXPOSED EDGES OF GYPSUM BOARD SURFACES.
- ALL FLOOR SURFACES TO RECEIVE NEW FLOOR COVERING ARE TO BE PREPARED TO BE SMOOTH, EVEN AND FREE OF DEFECTS AS RECOMMENDED BY FLOORING MANUFACTURER. SURFACES NOT MEETING ACCEPTABLE SUBSTRATE CONDITIONS SHALL BE REPAIRED PRIOR TO INSTALLATION. PROVIDE FLOOR PROTECTION AFTER FLOORS ARE INSTALLED.
- GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED LOCAL PERMITS. CONTRACTOR TO KEEP AT LEAST ONE RECORD SET ON SITE AND AVAILABLE TO INSPECTORS AT ALL TIMES. NO WORK IS TO COMMENCE UNTIL ALL PERMITS ARE OBTAINED.
- THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE PERFORMANCE OF THE CONTRACT ARE CONSIDERED PART OF THE WORK. CONTRACTOR TO SUBMIT RFIS FOR ANY DISCOVERED CONDITIONS, OR REQUIRED CLARIFICATIONS.
- ALL CHANGES AND OR SUBSTITUTIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW, AND (APPROVED IN WRITING) BY THE OWNER BEFORE BEING INCORPORATED INTO THE WORK.
- ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO THE REGULATIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
- HVAC LAYOUT & INSTALLATION IS TO BE PERFORMED IN ACCORDANCE WITH ALL STATE AND LOCAL GOVERNING CODES AND ORDINANCES AND GENERALLY ACCEPTED TRADE STANDARDS. HVAC CONTRACTOR IS TO PROVIDE ANY ADDITIONAL INFORMATION AS REQUIRED BY THE BUILDING DEPARTMENT. PREPARE AND SUBMIT COORDINATION DRAWINGS TO ENSURE THE HVAC SYSTEM WILL BE INSTALLED AND PERFORM AS INTENDED, CAPTURING EXTENT AND IMPACT OF DISCOVERED CONDITIONS, AND ADJACENT SYSTEMS.
- MECHANICAL/HVAC SUBCONTRACTOR TO REVIEW AND COORDINATE SYSTEM INSTALLATION/RECONFIGURATION WITH G.C. AND THE OWNER PRIOR TO PERMITTING AND INSTALLATION.
- FIRE & SAFETY NOTES: ALL SMOKE AND FIRE LAYOUT AND EQUIPMENT SHALL BE SUPPLIED AND PERFORMED BY OTHERS AND COMPLY WITH BUILDING CODE OF NEW YORK STATE AND THE FIRE CODE OF NEW YORK STATE.
- CONTRACTOR TO SUBMIT MANUFACTURERS CUT SHEETS FOR ALL MATERIALS AND EQUIPMENT. MATERIALS AND EQUIPMENT SHALL BE NEW AND LISTED BY UNDERWRITERS LABORATORIES, INC. AND BEAR THEIR LABEL WHEREVER STANDARDS HAVE BEEN ESTABLISHED AND THEIR LABEL SERVICE IS REGULARLY FURNISHED.
- MECHANICAL WORK SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL WIRING AND RELATED FIXTURES. ALL WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE AND STATE AND LOCAL CODES AND ORDINANCES. SUBCONTRACTORS SHALL COORDINATE WORK WITH ALL OTHER TRADES. TERMINAL HOOKUP IS REQUIRED ON ALL FIXTURES AND CONTROLS.
- UNLESS OTHERWISE NOTED, ALL SUBFLOORING IS BE 3/4" T&G ADVANTECH OR BETTER.
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTORS TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTORS AGREE TO CORRECT, WITHOUT CHARGE, SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD. PROVIDE EQUIPMENT AND MATERIAL WARRANTIES AT THE END OF THE JOB.
- CONTRACTOR SHALL SUBMIT TO THE ARCHITECT DIGITAL OR PRINTED COPIES OF ALL INSPECTIONS, STAMPED ENGINEERING DRAWINGS, AND WARRANTY INFORMATION FOR ALL SUBMITTALS PRIOR TO PROJECT CLOSE-OUT. UPON ARCHITECT'S REVIEW AND ACCEPTANCE, CONTRACTOR SHALL FURNISH A FULL SET OF RECORD DOCUMENTS TO THE OWNER.
- THE INSULATION INSTALLERS SHALL PROVIDE A CERTIFICATION LISTING THE TYPE, MANUFACTURER AND R-VALUE OF THE INSULATION INSTALLED IN EACH ELEMENT OF THE BUILDING THERMAL ENVELOPE.
- A SUMMARY OF ALL OF THE INSTALLED HVAC EQUIPMENT, DUCTWORK, WINDOWS, DOORS, SKYLIGHTS, AND INSULATION WITH ALL RELEVANT EFFICIENCIES SHALL BE PROVIDED TO THE OWNER AND ARCHITECT.

SHEET LIST

SHEET NUMBER	SHEET NAME
A-001	COVER SHEET
A-002	MEANS OF EGRESS PLANS
A-003	3D VIEWS OF EXTERIOR
A-100	DEMO PLANS
B-100	BASEMENT PLANS
S-101	FIRST FLOOR FRAMING PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	REFLECTED CEILING PLANS
A-104	ATTIC AND ROOF PLANS
A-201	ELEVATIONS
A-202	ELEVATIONS
A-301	SECTIONS
A-302	SECTIONS
A-501	DETAILS
A-502	DETAILS
A-503	CORBEL TEMPLATE
A-601	SCHEDULES
A-601	FINISH PLAN AND SCHEDULE
M-101	MECHANICAL
M-102	MECHANICAL
E-101	ELECTRICAL PLAN
E-102	ELECTRICAL PLAN

CODE NOTES

TOWN OF NEW PALTZ, ULSTER COUNTY NEW YORK
APPLICABLE CODES: 2020 BUILDING CODE OF NYS, 2020 EXISTING BUILDING CODE OF NYS, 2020 FIRE CODE OF NYS, 2020 PLUMBING CODE OF NYS, 2020 MECHANICAL CODE OF NYS AND 2020 ENERGY CONSERVATION CODE OF NYS.

GROUND SNOW LOAD	WIND	SEISMIC	WEATHERING	FROST LINE	TERMITE	WINTER	OCCUPANCY
50	115	B	SEVERE	42"	MODERATE	2	B

2020 BUILDING CODE OF NYS

106.2.2 FIRE PROTECTION SYSTEM SHOP DRAWINGS; SEE
106.2.4 EXTERIOR WALL ENVELOPE; SEE

CHAPTER 10 MEANS OF EGRESS

1004 OCCUPANT LOAD
1004.5 AREAS WITHOUT FIXED SEATING
BUSINESS AREA = 1 PERSON PER 150 GROSS SF
FIRST FL: 1400 SF / 150 SF = 9 PEOPLE
SECOND FL: 1220 SF / 150 SF = 8 PEOPLE
TOTAL OCCUPANTS: 17 PEOPLE

1006 NUMBER OF EXITS

TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY
MAXIMUM OCCUPANT LOAD 49
MAXIMUM TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM 75 FT (OL > 30)
MAX TRAVEL DISTANCE ON 1ST FL = 32'
MAX TRAVEL DISTANCE ON 2ND FL = 55'

1010 DOORS

1010.1.1 SIZE OF DOORS
MINIMUM CLEAR OPENING 32"

1011 STAIRWAYS

1011.2 WIDTH AND CAPACITY
REQUIRED CAPACITY SHALL NOT BE LESS THAN 44"
EXCEPTION #1: STAIRWAYS SERVING AN OCCUPANT LOAD LESS THAN 50 SHALL HAVE A WIDTH NOT LESS THAN 36"

1014 HANDRAILS

1014.9 PROJECTIONS
PROJECTIONS INTO THE REQUIRED WIDTH OF STAIRWAYS AT EACH SIDE SHALL NOT EXCEED 4 1/2" AT OR BELOW HANDRAIL HEIGHT.

2020 NYS RESIDENTIAL ENERGY CONSERVATION CODES

TABLE R402.1.2 PRESCRIPTIVE PATH TO BE FOLLOWED
MINIMUM INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT BASED ON CLIMATE 6 OPTION 2:
FENESTRATION U-FACTOR: 0.29
CEILING: R-60
WOOD FRAMED WALL: CAVITY R-23
FLOOR: R-30

2020 NYS EXISTING BUILDING CODES OF NYS

SECTION 503.1 GENERAL

EXCEPT AS PROVIDED BY HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/NY-EXISTING-BUILDING-CODE-2020/CHAPTER/3/PROVISIONS-FOR-ALL-COMPLIANCE-METHODS#302.4" SECTION 302.4, HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/NY-EXISTING-BUILDING-CODE-2020/CHAPTER/3/PROVISIONS-FOR-ALL-COMPLIANCE-METHODS#302.5" 302.5 OR THIS SECTION, HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/NY-EXISTING-BUILDING-CODE-2020/CHAPTER/2/DEFINITIONS#ALTERATION" ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/IBC-2018/BUILDING_CODE_OF_NEW_YORK_STATE_FOR_NEW_CONSTRUCTION" HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/NY-EXISTING-BUILDING-CODE-2020/CHAPTER/2/DEFINITIONS#ALTERATION" ALTERATIONS SHALL BE SUCH THAT THE HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/NY-EXISTING-BUILDING-CODE-2020/CHAPTER/D/DIAPER-CHANGING-STATIONS#EXISTING_BUILDING_EXISTING_BUILDING_OR_STRUCTURE_IS_NOT_LESS_THAN_COMPLYING_WITH_THE_PROVISIONS_OF_THE_HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/IBC-2018/BUILDING_CODE_OF_NEW_YORK_STATE_THAN_THE_HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/NY-EXISTING-BUILDING-CODE-2020/CHAPTER/D/DIAPER-CHANGING-STATIONS#EXISTING_BUILDING_EXISTING_BUILDING_OR_STRUCTURE_WAS_PRIOR_TO_THE_HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/NY-EXISTING-BUILDING-CODE-2020/CHAPTER/2/DEFINITIONS#ALTERATION" ALTERATION.

EXCEPTIONS:
1. AN EXISTING STAIRWAY SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/IBC-2018/CHAPTER/10/MEANS-OF-EGRESS#1011" SECTION 1011 OF THE HYPERLINK "HTTPS://UP.CODES/VIEWER/NEW_YORK/IBC-2018/BUILDING_CODE_OF_NEW_YORK_STATE" WHERE THE EXISTING SPACE AND CONSTRUCTION DOES NOT ALLOW A REDUCTION IN FITCH OR SLOPE.

SECTION 604.1

LEVEL 3 ALTERATION. WORK AREA EXCEEDS 50% OF BUILDING AREA
SECTION 901.1
LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY CONSERVATION CODE OF NEW YORK STATE OR RESIDENTIAL CODE OF NEW YORK STATE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE OR RESIDENTIAL CODE OF NEW YORK STATE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

ADDITIONAL NOTES:

CONTRACTOR TO VERIFY LOCATION OF UTILITIES - CALL 1-800-DIG-5674.

CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS. DRAWINGS AS SHOWN HEREIN ARE TO DESCRIBE THE DESIGN INTENT. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES, ETC. AND TO NOTIFY THE ARCHITECTS IN WRITING OF ANY OBSERVED DISCREPANCIES PRIOR TO EXECUTING THE WORK.

Creating spaces and places of lasting beauty

ALFANDRE ARCHITECTURE

231 Main Street, Suite 201, New Paltz, NY 12561 845.255.4774 www.alfandre.com

CONSTRUCTION DOCUMENTS

BROOK FARM HOUSE

LENAPE LANE, NEW PALTZ, NY 12561

DRAWN BY:

RDG

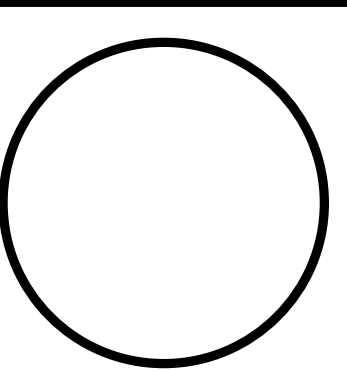
PROJECT NO:

22-107

DATE:

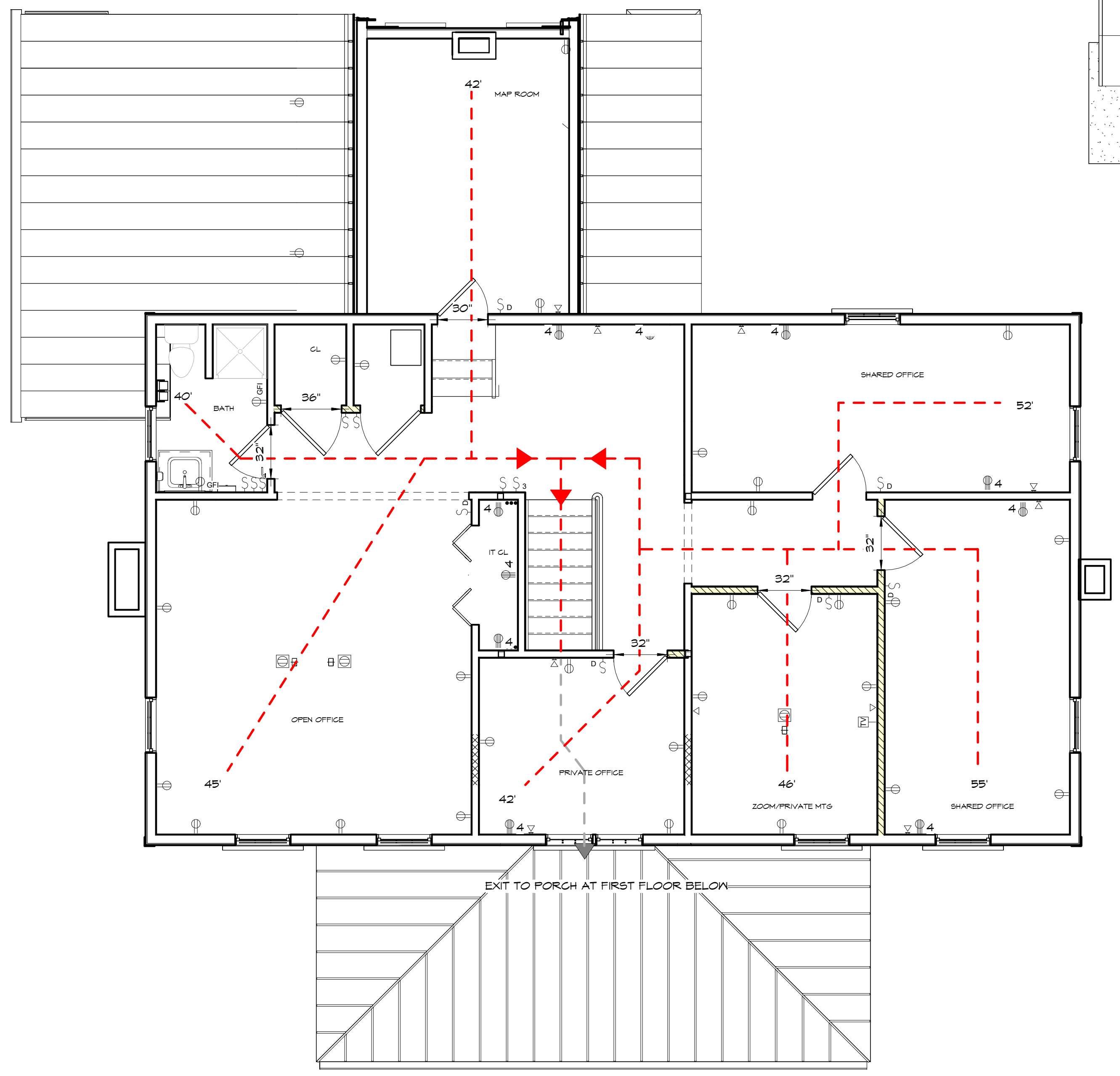
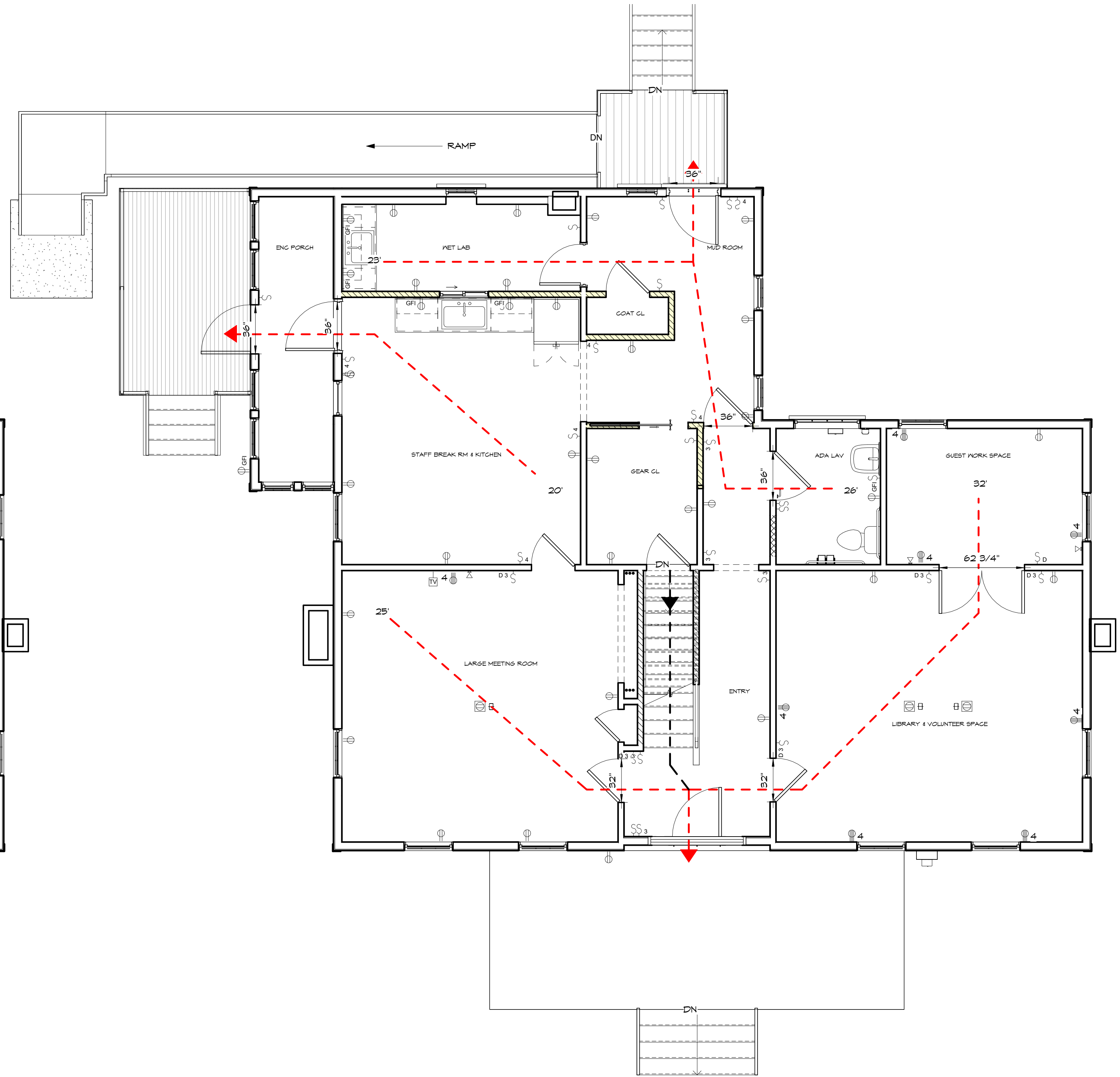
07-05-2023

A-001



IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

BID SET NOT FOR CONSTRUCTION





1 NORTH EAST VIEW
A-003



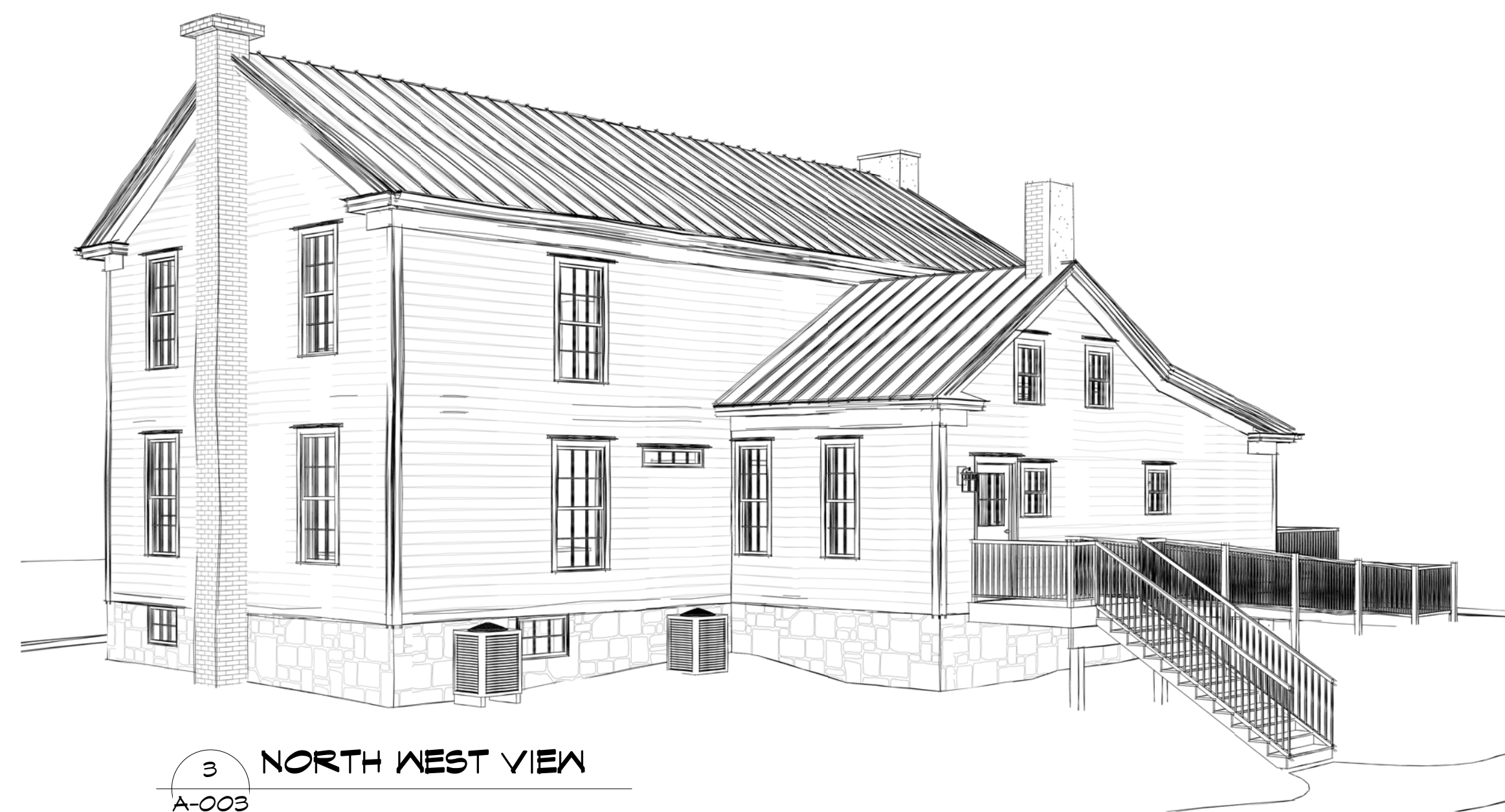
4 SOUTH EAST VIEW
A-003



2 NORTH VIEW
A-003



5 SOUTH VIEW
A-003



3 NORTH WEST VIEW
A-003



6 SOUTH WEST VIEW
A-003

Creating spaces
and places of
lasting beauty

ALFANDRE ARCHITECTURE

231 Main Street, Suite 201 New Paltz, NY 12561 845.255.4774 www.alfandre.com

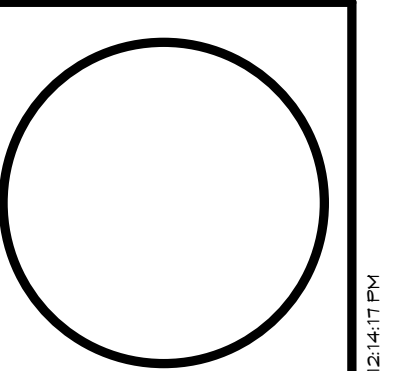
CONSTRUCTION DOCUMENTS
BROOK FARM HOUSE
LENAPE LANE, NEW PALTZ, NY 12561
3D VIEWS OF EXTERIOR

DRAWN BY:
RDG

PROJECT NO:
22-107

DATE:
07-05-2023

A-003



IT IS UNLAWFUL TO MODIFY
A DOCUMENT BEARING THE
SEAL AND SIGNATURE OF A
LICENSED ARCHITECT

BID SET NOT FOR CONSTRUCTION

7/26/2023 12:41:17PM

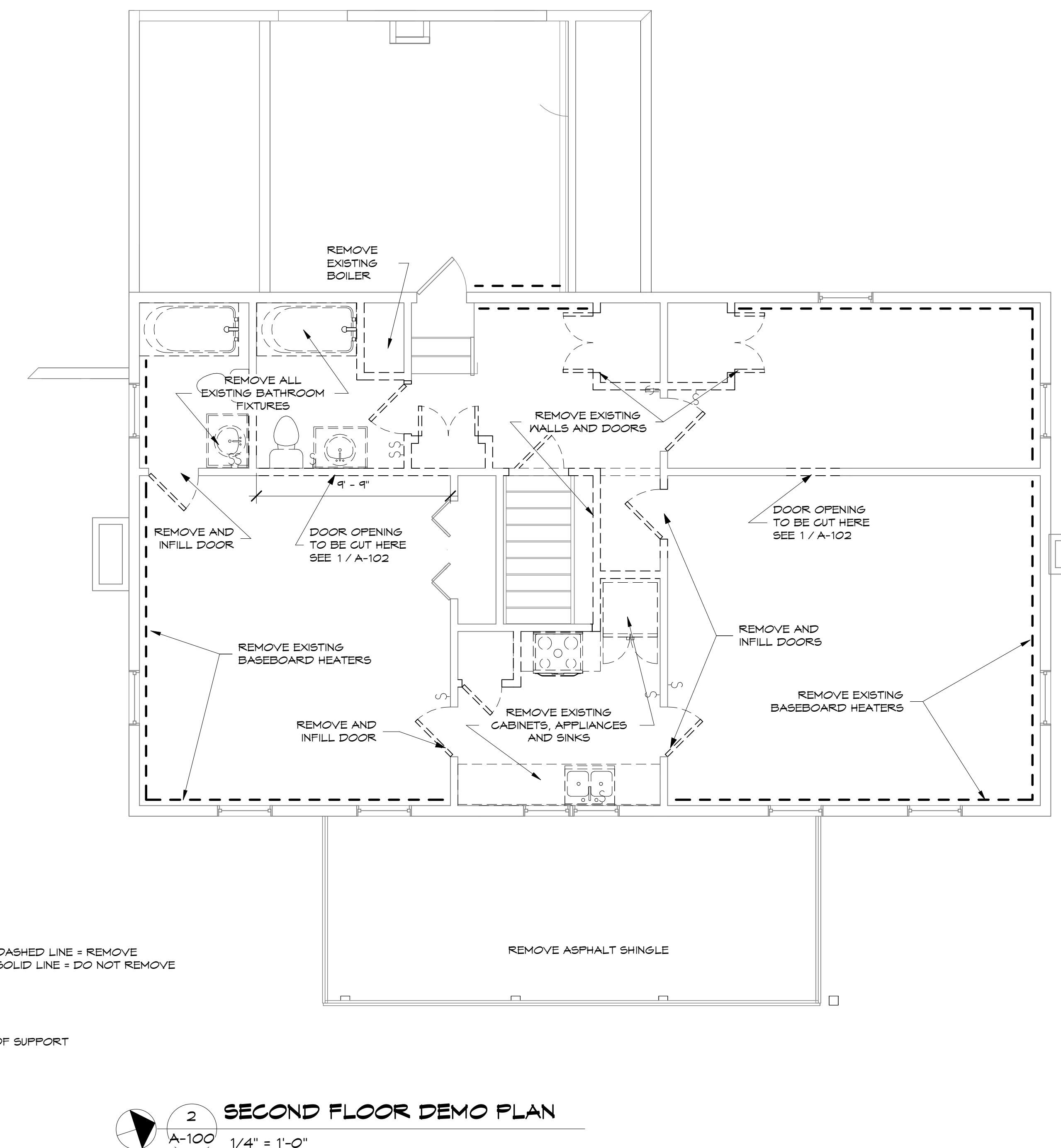
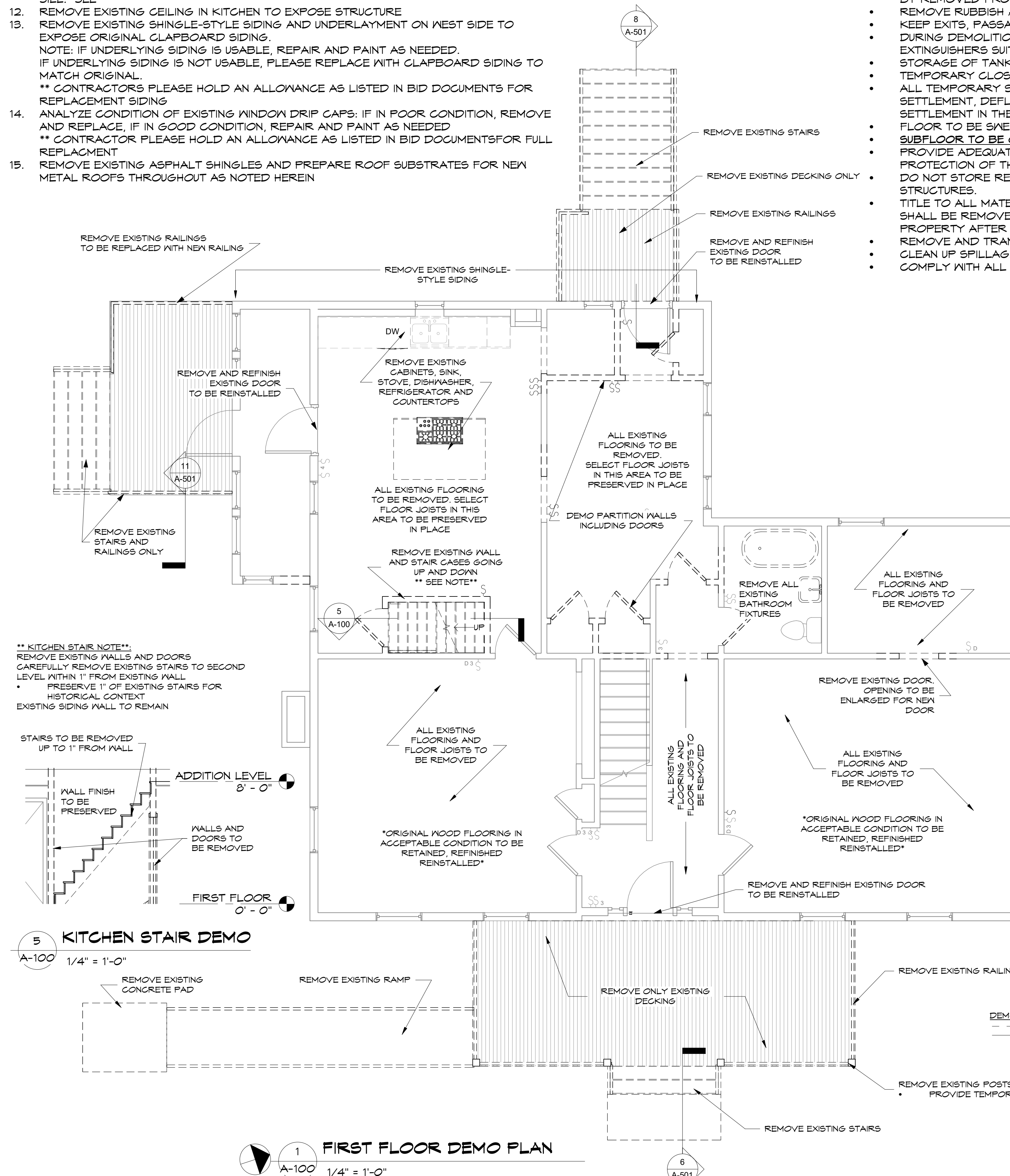
DEMO NOTES:

SCOPE:

1. DEMO EXISTING INTERIOR WALLS AS NOTED
2. DEMO EXISTING KITCHENS
3. DEMO EXISTING BATHROOMS
4. REMOVE AND REPLACE 4 WINDOWS AS NOTED
5. WOOD PANEL DETAILS UNDER WINDOWS TO REMAIN
6. REMOVE AND REPLACE EXISTING EXTERIOR DOORS AS NOTED
7. REMOVE EXISTING BOILER AND HOT WATER HEATER
8. REMOVE EXISTING BASEBOARD HEATING REGISTERS ON SECOND FLOOR
9. ALL EXISTING FLOORING FIRST FLOOR TO BE REMOVED
10. ALL EXISTING FLOOR JOISTS ON FIRST FLOOR TO BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE (UNO)
11. INFILL ALONG THE TOP OF THE FOUNDATION TO BE REMOVED TO EXPOSE EXISTING 6x6 SILL. SEE
12. REMOVE EXISTING CEILING IN KITCHEN TO EXPOSE STRUCTURE
13. REMOVE EXISTING SHINGLE-STYLE SIDING AND UNDERLAYMENT ON WEST SIDE TO EXPOSE ORIGINAL CLAPBOARD SIDING.
NOTE: IF UNDERLYING SIDING IS USABLE, REPAIR AND PAINT AS NEEDED.
** CONTRACTORS PLEASE HOLD AN ALLOWANCE AS LISTED IN BID DOCUMENTS FOR REPLACEMENT SIDING
14. ANALYZE CONDITION OF EXISTING WINDOW DRIP CAPS: IF IN POOR CONDITION, REMOVE AND REPLACE, IF IN GOOD CONDITION, REPAIR AND PAINT AS NEEDED
** CONTRACTOR PLEASE HOLD AN ALLOWANCE AS LISTED IN BID DOCUMENTS FOR FULL REPLACEMENT
15. REMOVE EXISTING ASPHALT SHINGLES AND PREPARE ROOF SUBSTRATES FOR NEW METAL ROOFS THROUGHOUT AS NOTED HEREIN

THE CONTRACTOR, AS PART OF HIS CONTRACT, SHALL:

- PROVIDE AND MAINTAIN AND ERECT ALL PLANKING, BRIDGES, TEMPORARY PARTITIONS, SCREEN, WARNING LIGHTS, WARNING SIGNS, ETC., MANDATORY FOR THE PROTECTION OF THE PUBLIC AND THOSE PORTIONS OF THE BUILDING TO BE USED DURING CONSTRUCTION BY THE OWNER AND THE CONTRACTOR AND HIS RELATIVE SUBCONTRACTORS.
- REVIEW PLANS AND SPECIFICATIONS AND COORDINATE WITH OTHER TRADES FOR ANY EXISTING FIXTURES, EQUIPMENT, MATERIAL, ETC. WHICH MAY BE REQUIRED TO REMAIN, TO BE INCORPORATED INTO THE NEW WORK, AND ANY WORK PRESENTLY ACTIVE WHICH THE TRADE MUST DEACTIVATE OR DE-ENERGIZE IN ORDER FOR THIS CONTRACTOR TO PERFORM HIS DEMOLITION AND REMOVAL WORK.
- VISIT THE PREMISES AND EXAMINE THE EXISTING CONDITIONS BEFORE SUBMITTING PROPOSAL AND INFORM THEMSELVES AS TO THE AMOUNT OF WORK AND NATURE OF DEMOLITION TO BE ENCOUNTERED. SUBMISSIONS OF PROPOSAL IMPLIES THAT BIDDER IS FULLY CONVERSANT WITH ALL JOB CONDITIONS.
- CONDUCT DEMOLITION/REMOVAL BASED ON CASUAL FIELD OBSERVATIONS. REPORT DISCREPANCIES TO THE ARCHITECT/ENGINEER AND OWNER BEFORE DISTURBING EXISTING CONSTRUCTION.
- PERFORM ALL WORK OF THIS SECTION IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAWS, ORDINANCES, AND REGULATIONS.
- PROTECT ALL PERSONS, WHETHER ENGAGED IN THE WORK OR NOT, FROM ALL HARM CAUSED BY PERFORMANCE OF THE WORK OF THIS SECTION.
- ALL MATERIALS RESULTING FROM DEMOLITION WORK, EXCEPT AS INDICATED OR SPECIFIED OTHERWISE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE LIMITS OF THE JOB SITE.
- REMOVE RUBBISH AND DEBRIS FROM THE JOB SITE DAILY UNLESS OTHERWISE DIRECTED. DO NOT ALLOW ACCUMULATIONS INSIDE OR OUTSIDE THE BUILDING.
- KEEP EXITS, PASSAGEWAYS, RAMPS, STAIRS, FREE OF DEBRIS AND REMOVALS.
- DURING DEMOLITION/REMOVAL/CONSTRUCTION PERIOD THIS CONTRACTOR SHALL PROVIDE AND MAINTAIN IN WORKING ORDER 10LB CAPACITY DRY CHEMICAL TYPE FIRE EXTINGUISHERS SUITABLE FOR CLASS A, B AND C FIRES.
- STORAGE OF TANKS AND CYLINDERS SHALL BE IN A SECURED AND POSTED AREA.
- TEMPORARY CLOSURE AND GUARDS SHALL BE ERECTED AS REQUIRED.
- ALL TEMPORARY SHORING, BRACING, SUPPORTS, NEW LINTELS REQUIRED TO SUPPORT EXISTING WORK SHALL BE FURNISHED AND INSTALLED SO AS TO PREVENT SETTLEMENT, DEFLECTION, COLLAPSE OR OTHER DAMAGE TO THE EXISTING WORK AND SHALL BE PROVIDED WITH ADEQUATE MEANS TO COMPENSATE FOR ANY SETTLEMENT IN THE SHORING, SUPPORTS, ETC.
- FLOOR TO BE SWEEP CLEAN. REMOVE ALL DEBRIS (GLUE & OTHER) FROM FLOOR.
- SUBFLOOR TO BE GLUED AND SCREWD OR NAILED WITH RINGSHANK NAILS
- PROVIDE ADEQUATE STORAGE FOR ALL REMOVAL ITEMS AWAITING REMOVAL FROM THE JOB SITE, OBSERVING ALL REQUIREMENTS FOR FIRE PROTECTION, SAFETY AND PROTECTION OF THE ECOLOGY. DO NOT STORE REMOVAL, DEBRIS ETC. ON THE STRUCTURE IN A MANNER THAT MIGHT CAUSE DISTORTION OR DAMAGE TO THE MEMBERS OR THE SUPPORTING STRUCTURES.
- TITLE TO ALL MATERIALS TO BE REMOVED, EXCEPT AS SPECIFIED OTHERWISE, IS VESTED IN THE CONTRACTOR UPON SIGNING OF AGREEMENT AND ALL SUCH MATERIALS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN A LEGAL MANNER. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITION OF, LOSS OF, OR DAMAGE TO SUCH PROPERTY AFTER SIGNING OF AGREEMENT. MATERIALS SHALL NOT BE VIEWED BY PROSPECTIVE PURCHASERS OR SOLD ON THE SITE.
- REMOVE AND TRANSPORT DEBRIS AND REMOVALS IN A MANNER THAT WILL PREVENT SPILLAGE ON STREETS AND ADJACENT AREAS.
- CLEAN UP SPILLAGE FROM STREETS AND ADJACENT AREAS.
- COMPLY WITH ALL FEDERAL, STATE, AND COUNTY HAULING AND DISPOSAL REGULATIONS.



DEMO KEY:
DASHED LINE = REMOVE
SOLID LINE = DO NOT REMOVE

Creating spaces and places of lasting beauty

ALFANDRE ARCHITECTURE

231 Magn Street, Suite 201 New Paltz, NY 12561 845.255.4774 www.alfandre.com

CONSTRUCTION DOCUMENTS

BROOK FARM HOUSE

LENAPE LANE, NEW PALTZ, NY 12561

DEMO PLANS

DRAWN BY: RDG

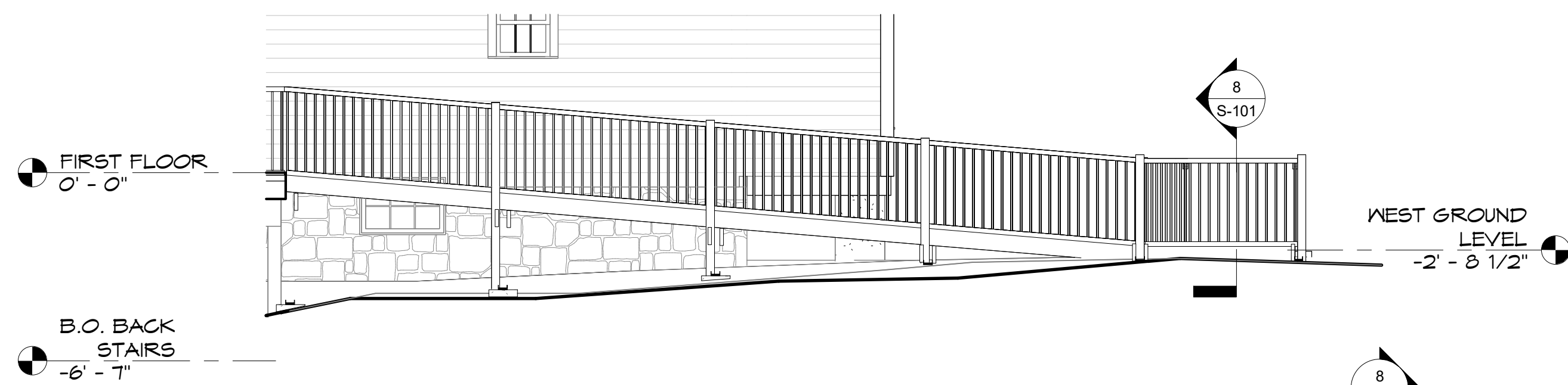
PROJECT NO: 22-107

DATE: 07-05-2023

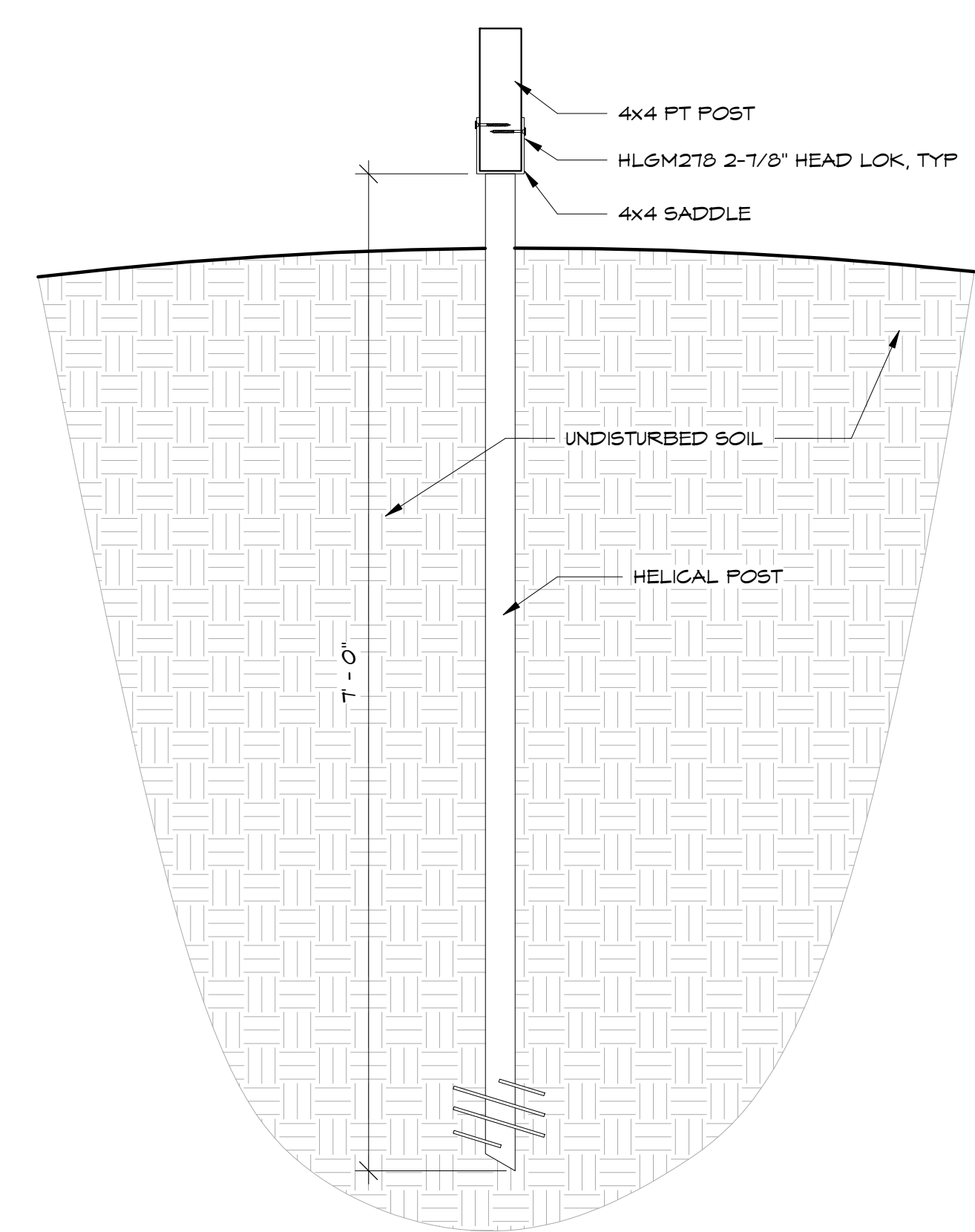
A-100

IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

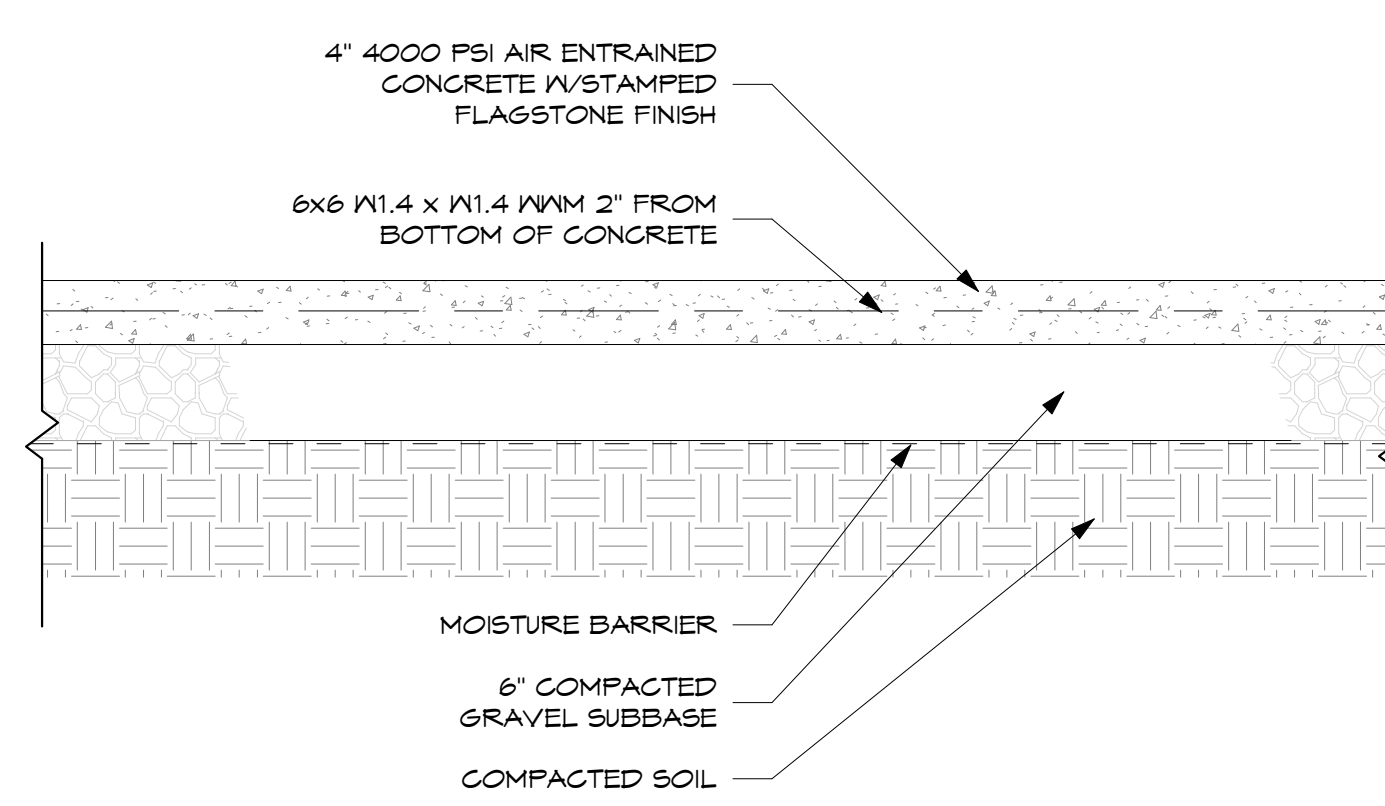
BID SET NOT FOR CONSTRUCTION



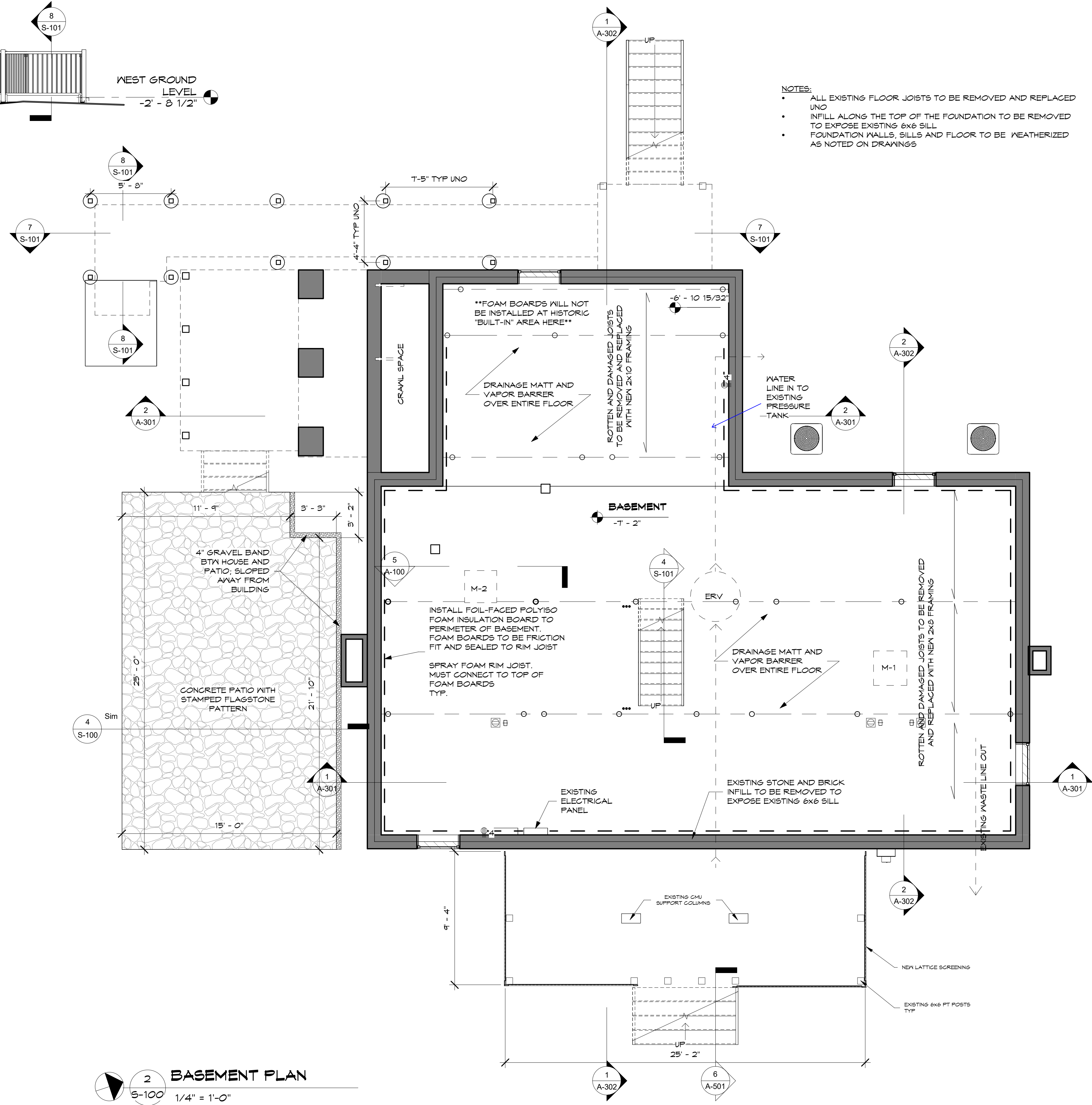
1 RAMP ELEVATION
S-100 1/4" = 1'-0"



3 HELICAL POST DETAIL
S-100 1" = 1'-0"



4 PATIO DETAIL
S-100 1" = 1'-0"



2 BASEMENT PLAN
S-100 1/4" = 1'-0"

- NOTES:
- ALL EXISTING FLOOR JOISTS TO BE REMOVED AND REPLACED UNO
 - INFILL ALONG THE TOP OF THE FOUNDATION TO BE REMOVED TO EXPOSE EXISTING 6x6 SILL
 - FOUNDATION WALLS, SILLS AND FLOOR TO BE WEATHERIZED AS NOTED ON DRAWINGS

Creating spaces and pieces of lasting beauty

ALFANDRE ARCHITECTURE

231 Main Street, Suite 201 New Paltz, NY 12561 845.255.4774 www.alfandre.com

CONSTRUCTION DOCUMENTS

BROOK FARM HOUSE

LENAPE LANE, NEW PALTZ, NY 12561

BASEMENT PLANS

DRAWN BY: RDG

PROJECT NO: 22-107

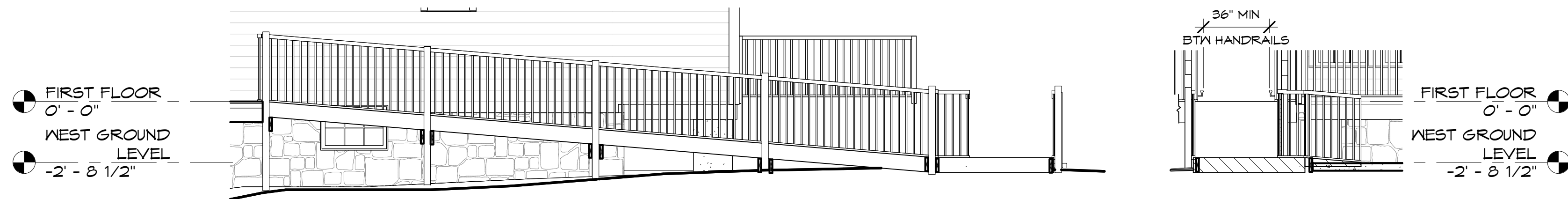
DATE: 07-05-2023

S-100

IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

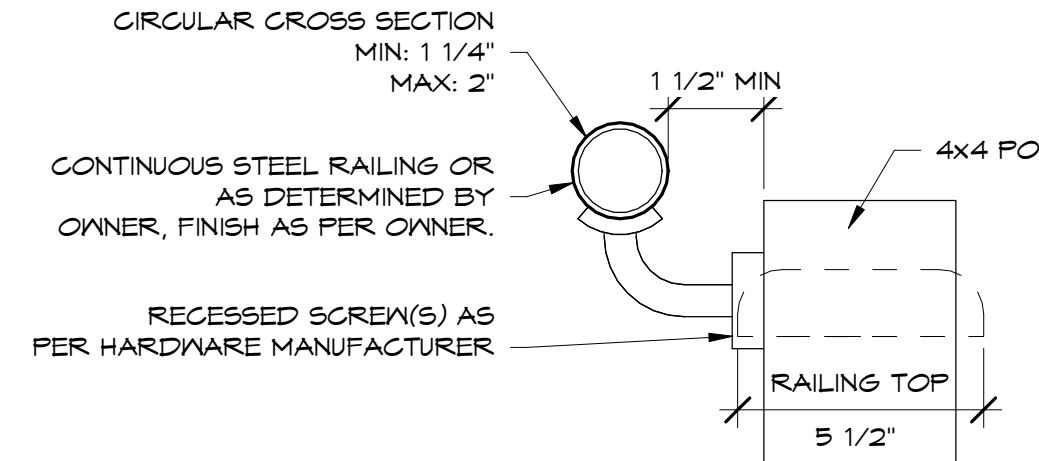
PLANNING BOARD SUBMISSION

7/26/2023 9:42:21 PM

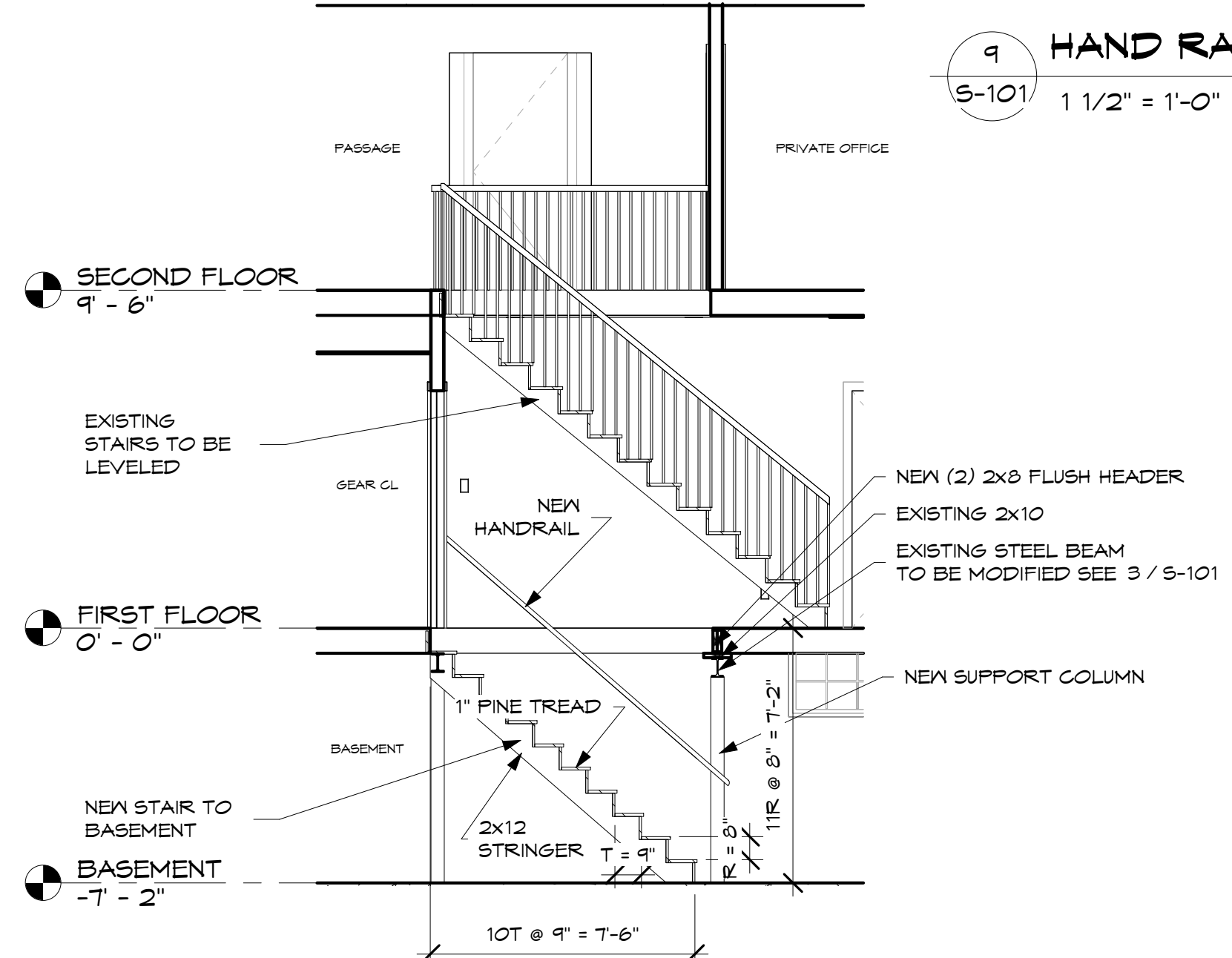


7 SECTION 1 THRU RAMP
S-101 1/4" = 1'-0"

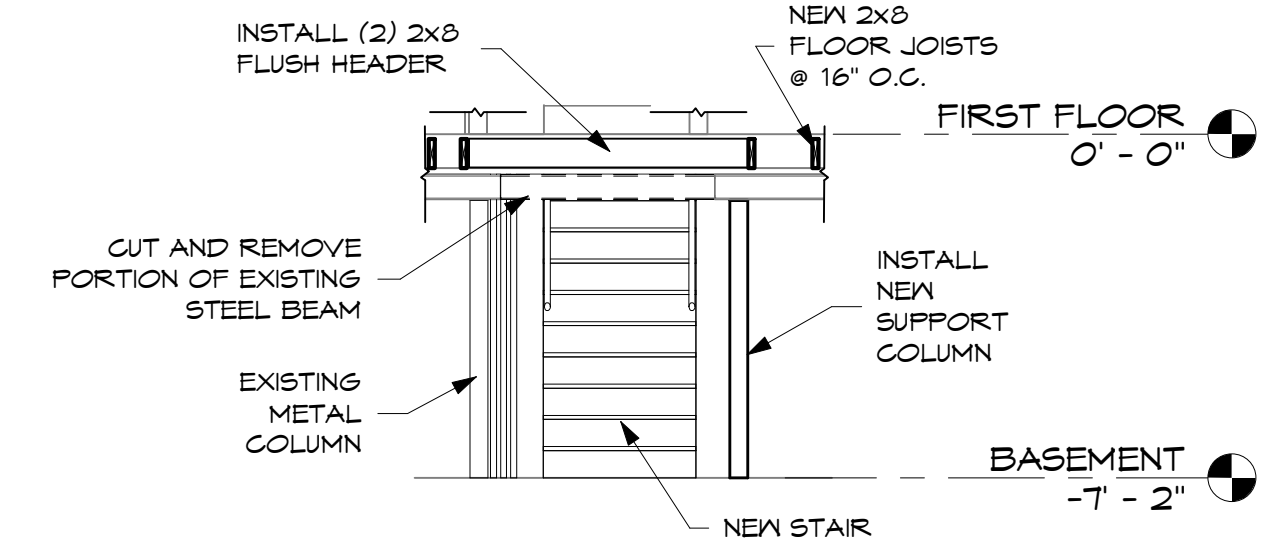
8 SECTION 2 THRU RAMP
S-101 1/4" = 1'-0"



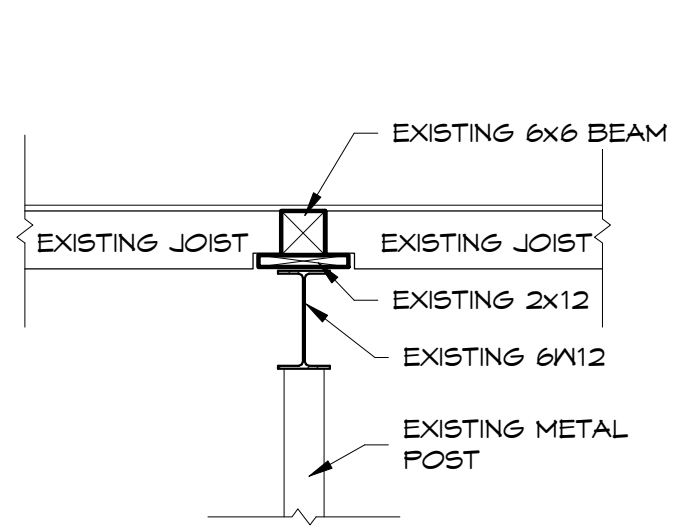
9 HAND RAIL DETAIL VIEW
S-101 1 1/2" = 1'-0"



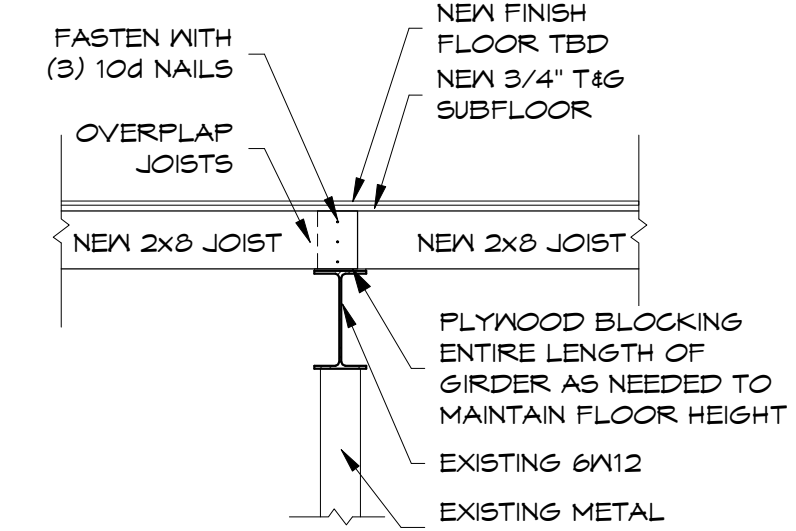
4 SECTION THRU STAIRS
S-101 1/4" = 1'-0"



3 BASEMENT STAIR ELEVATION
S-101 1/4" = 1'-0"

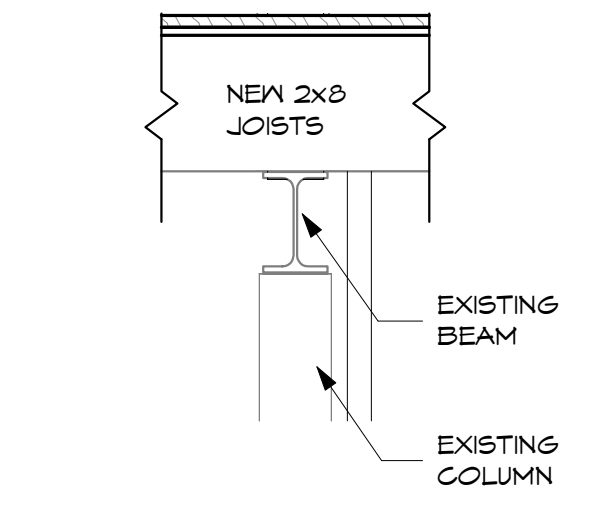


EXISTING

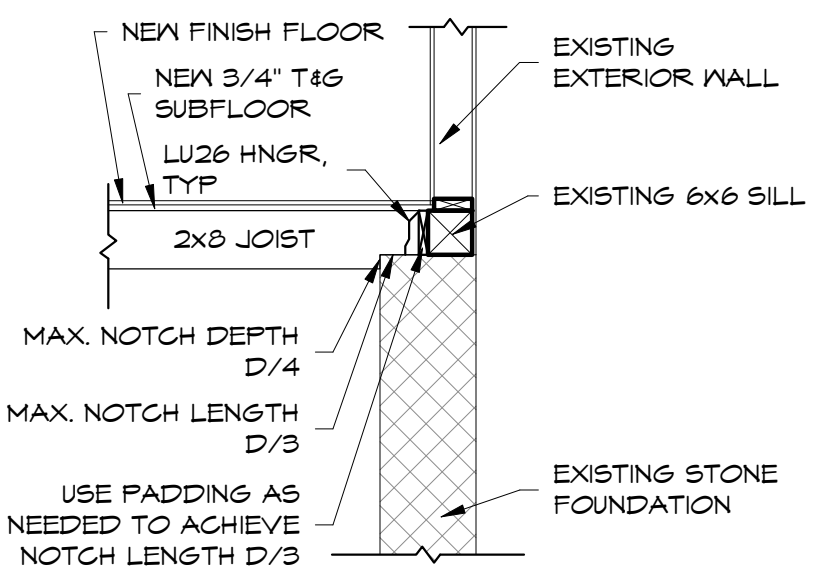


NEW

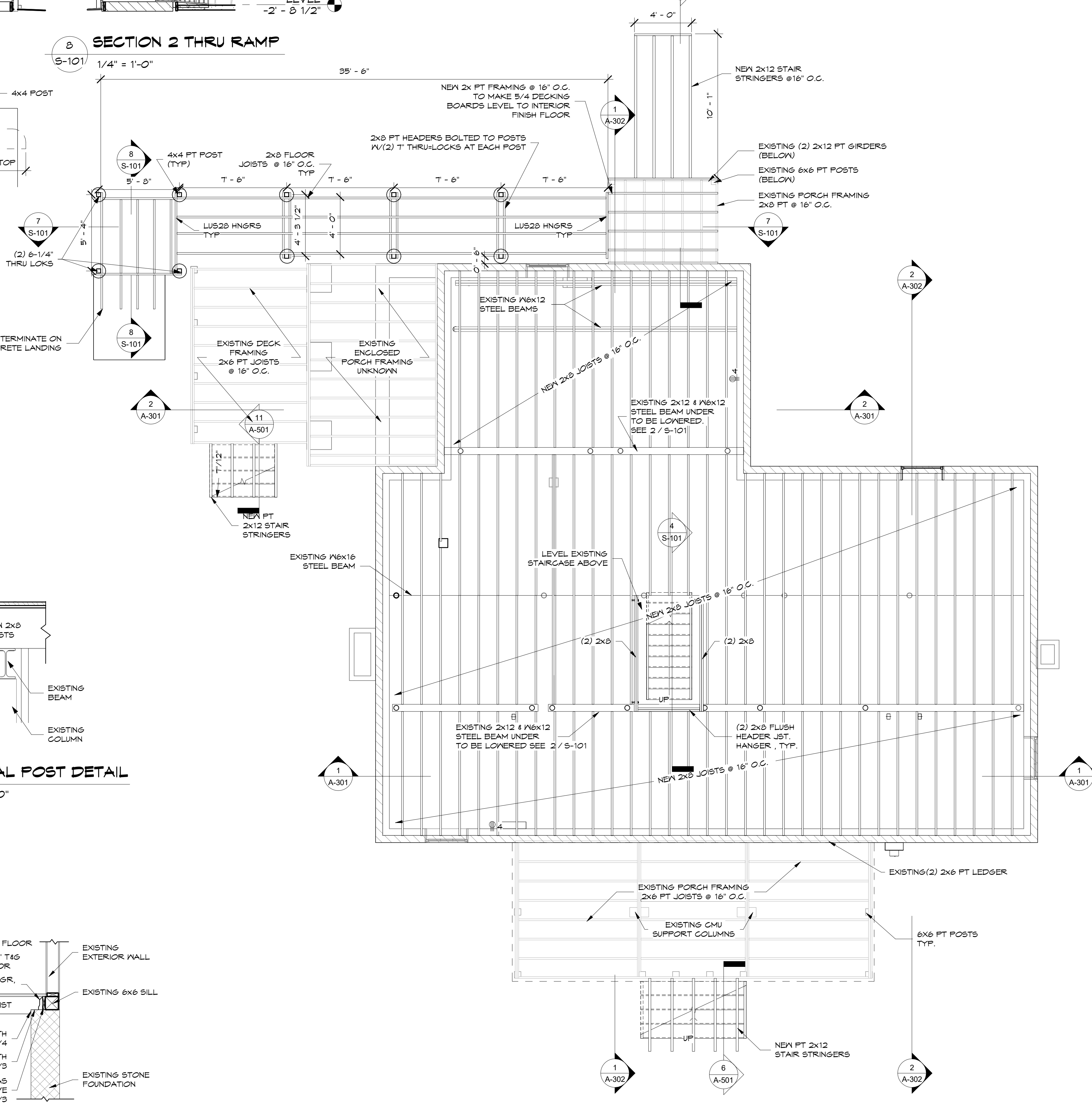
2 GIRDER DETAIL
S-101 1/2" = 1'-0"



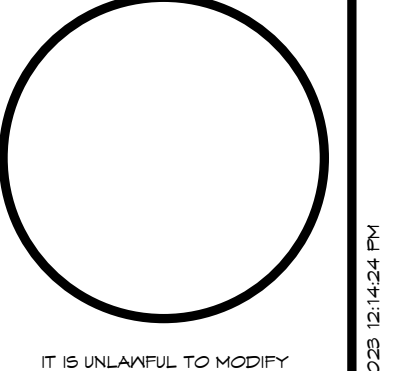
6 METAL POST DETAIL
S-101 1" = 1'-0"



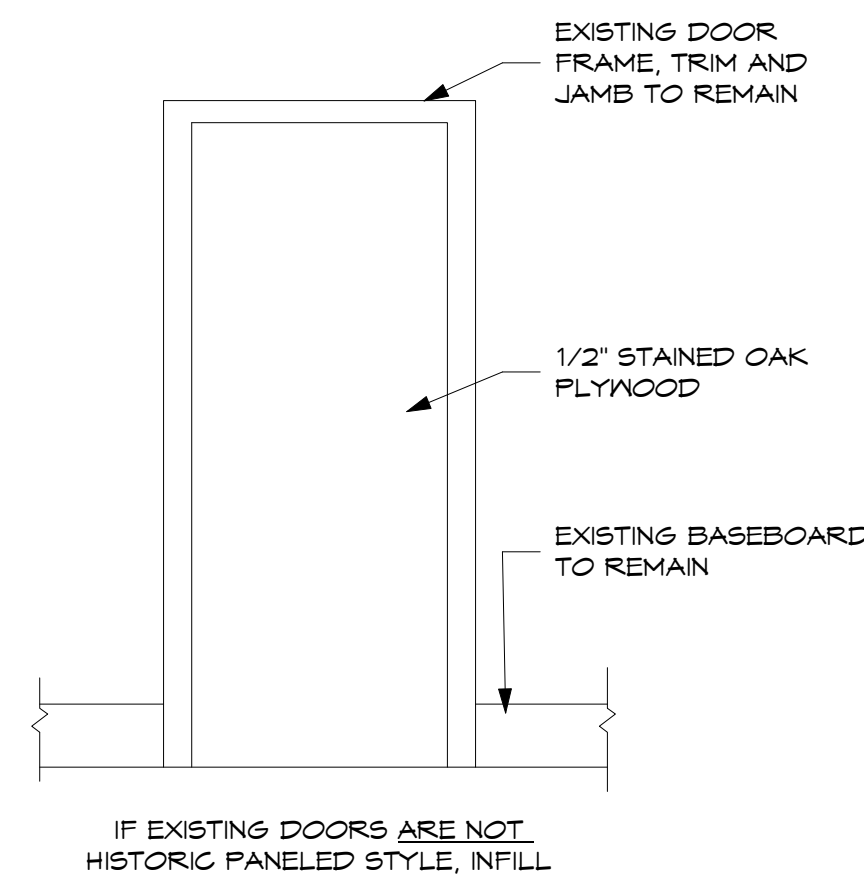
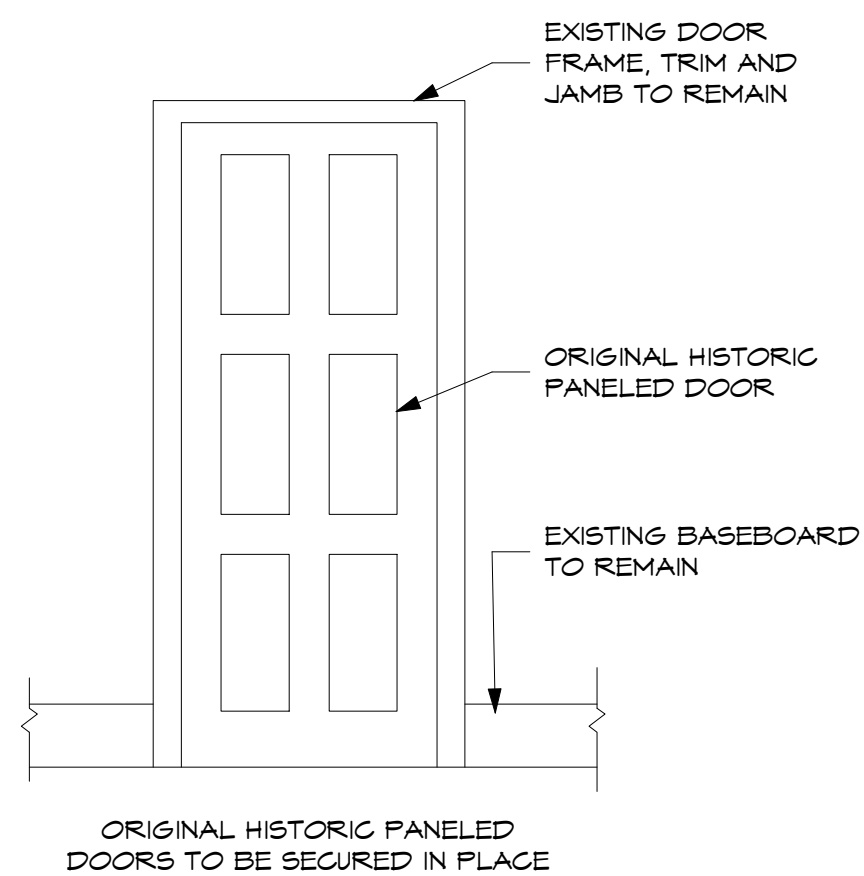
5 JOIST TO SILL DETAIL
S-101 1/2" = 1'-0"



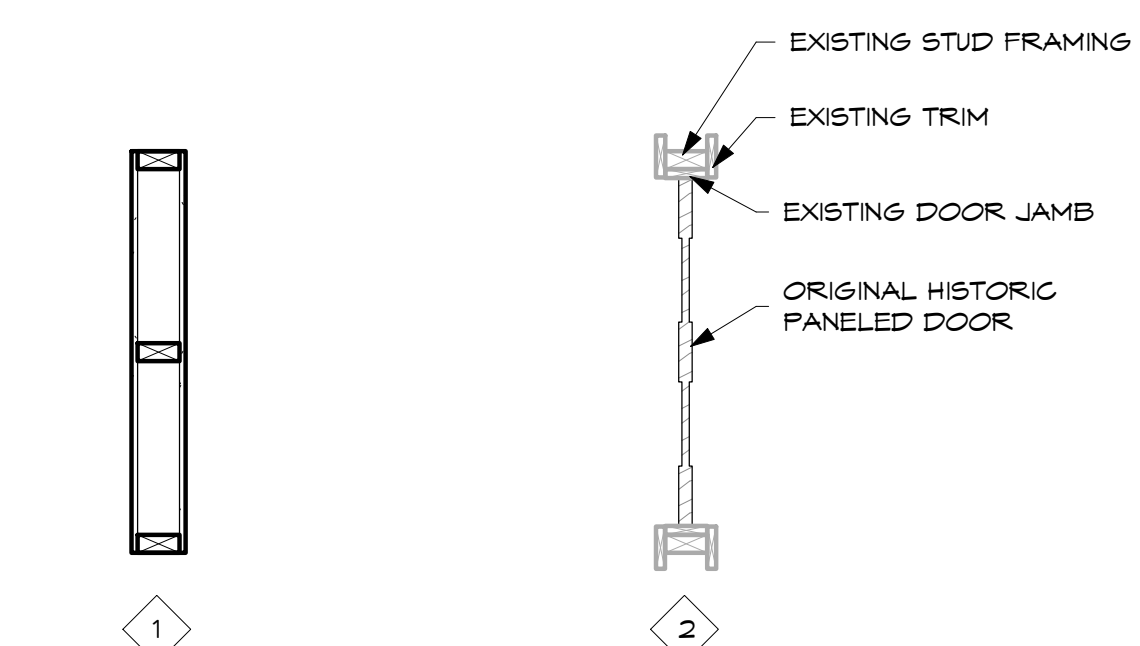
1 FIRST FLOOR FRAMING PLAN
S-101 1/4" = 1'-0"



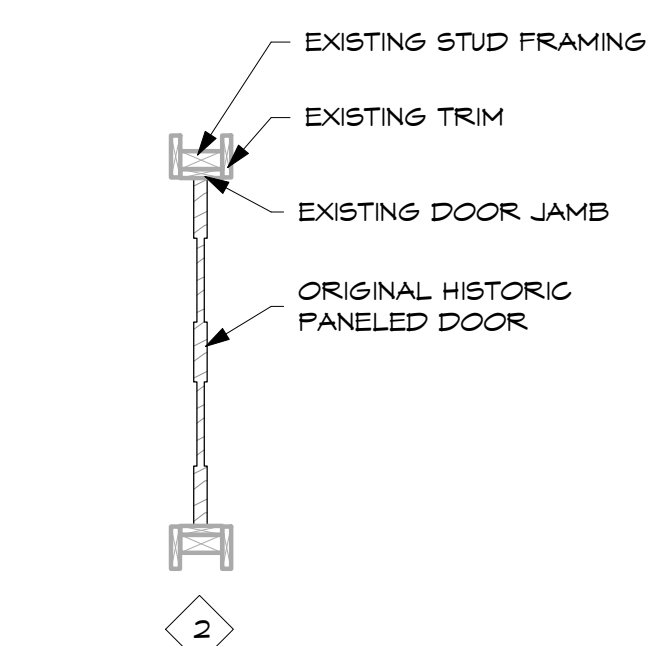
4 DOOR INFILL
 A-102 1/2" = 1'-0"



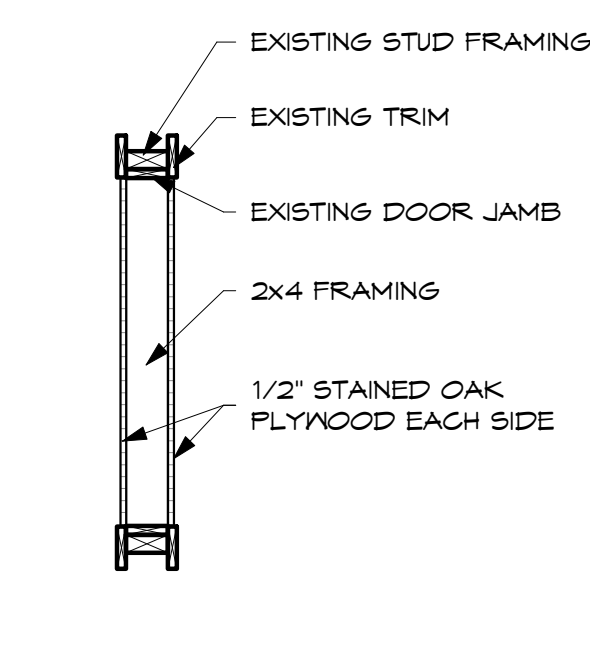
IF EXISTING DOORS ARE NOT HISTORIC PANELED STYLE, INFILL WITH STAINED OAK PLYWOOD.



INTERIOR WALL:
 2x4 WOOD STUDS @ 16" O.C.
 1/2" GNB EACH SIDE TO LEVEL 4 FINISH

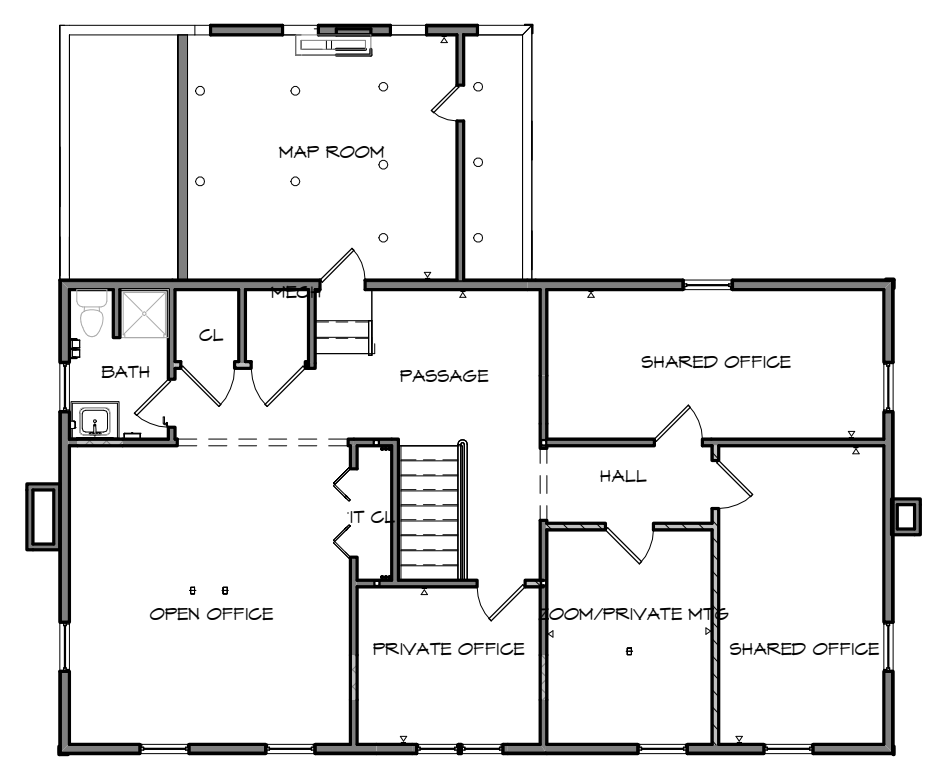
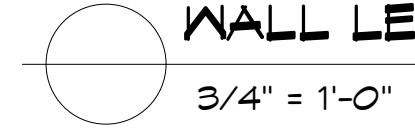


DOOR INFILL:
 LEAVE EXISTING DOOR FRAMING AND TRIM SECURE ORIGINAL HISTORIC PANELED DOOR IN PLACE

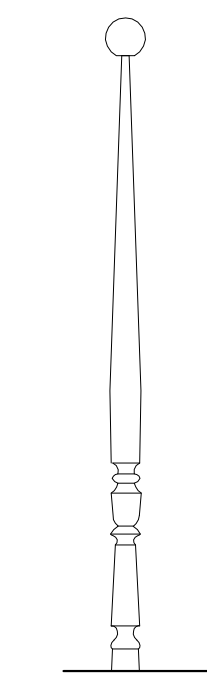


IF EXISTING DOORS ARE NOT HISTORIC PANELED STYLE, INFILL WITH STAINED OAK PLYWOOD.

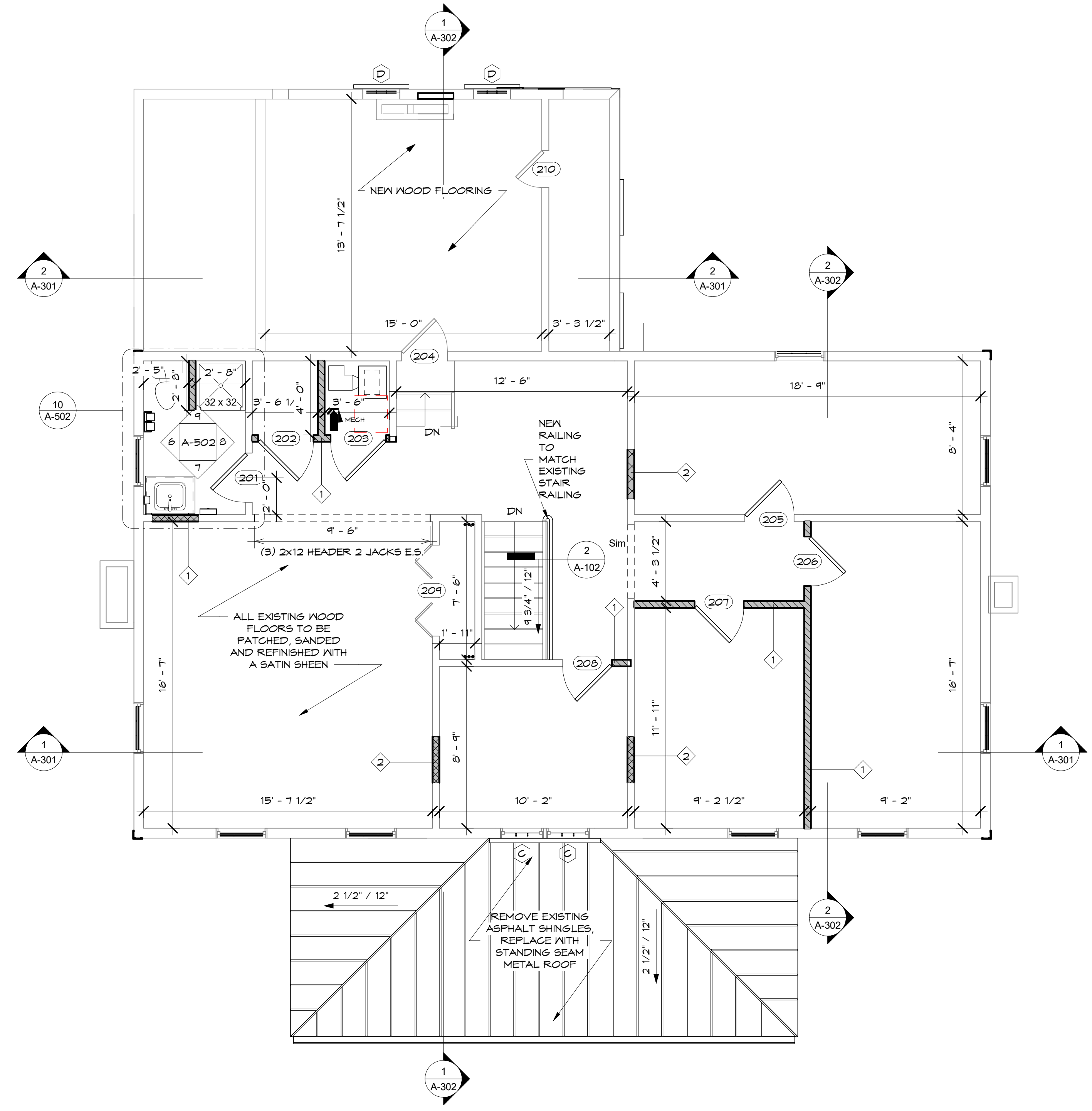
WALL LEGEND 2ND FL
 3/4" = 1'-0"



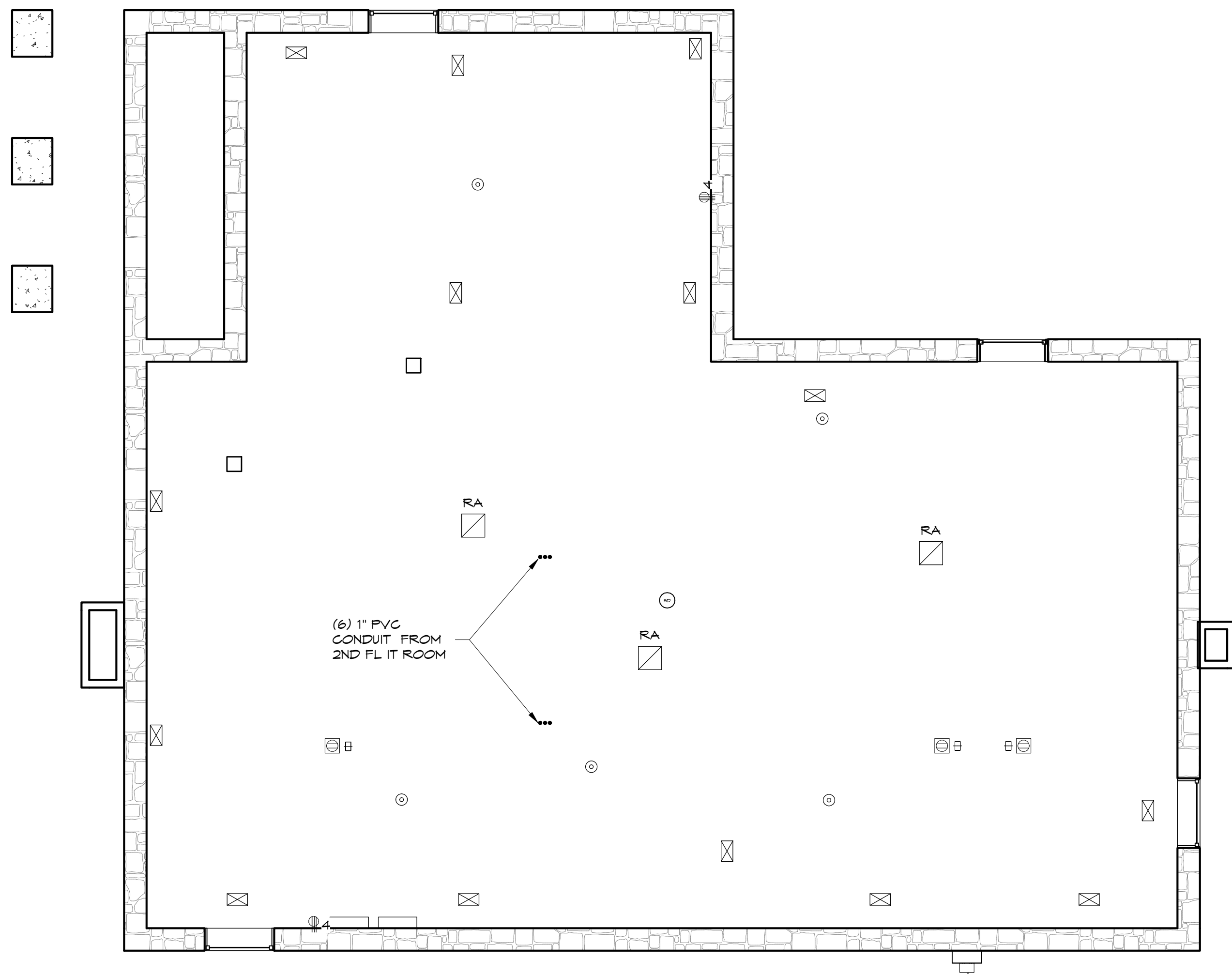
3 SECOND FLOOR PLAN ROOM KEY
 A-102 3/32" = 1'-0"



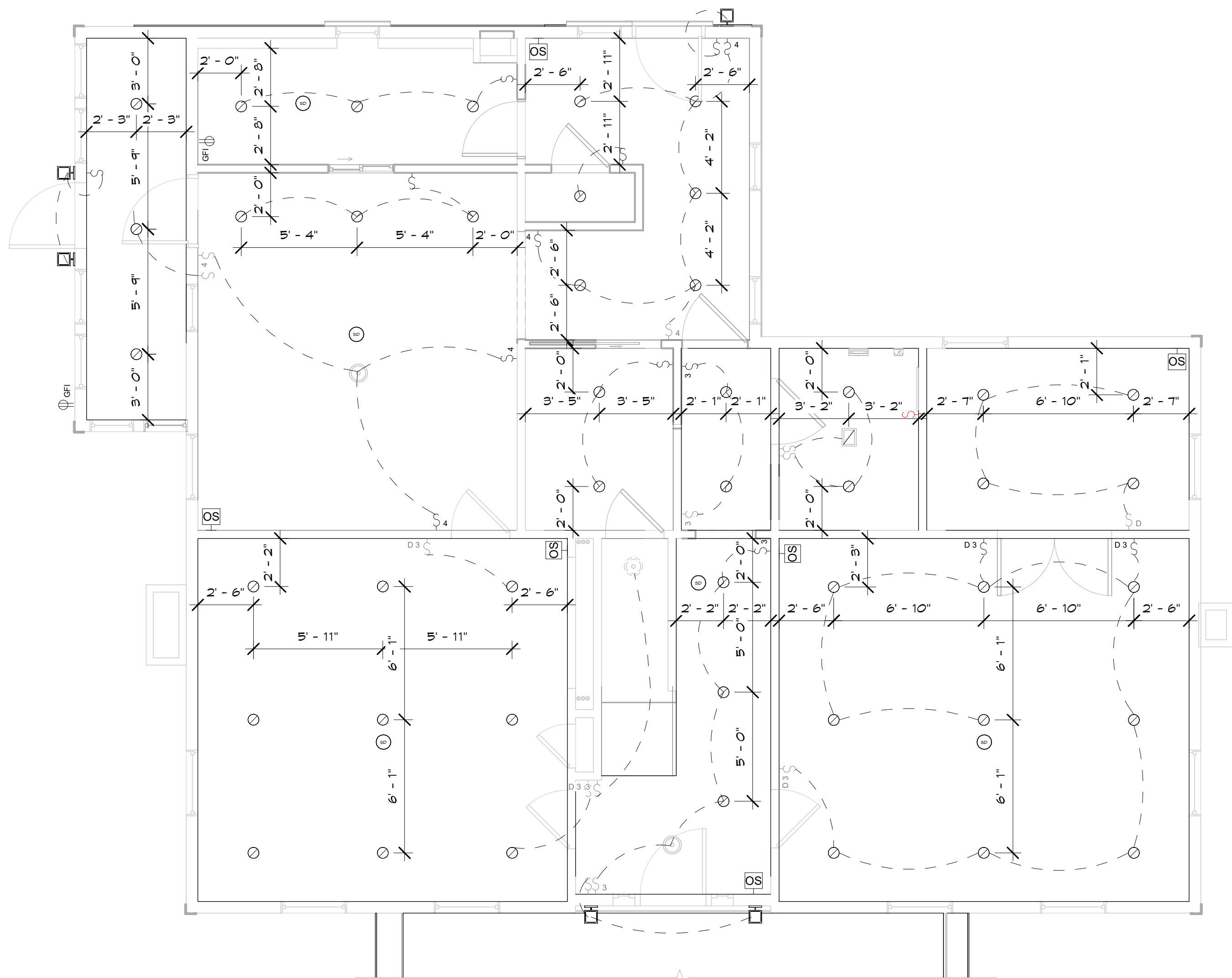
2 SECOND FLOOR RAILING
 A-102 1" = 1'-0"



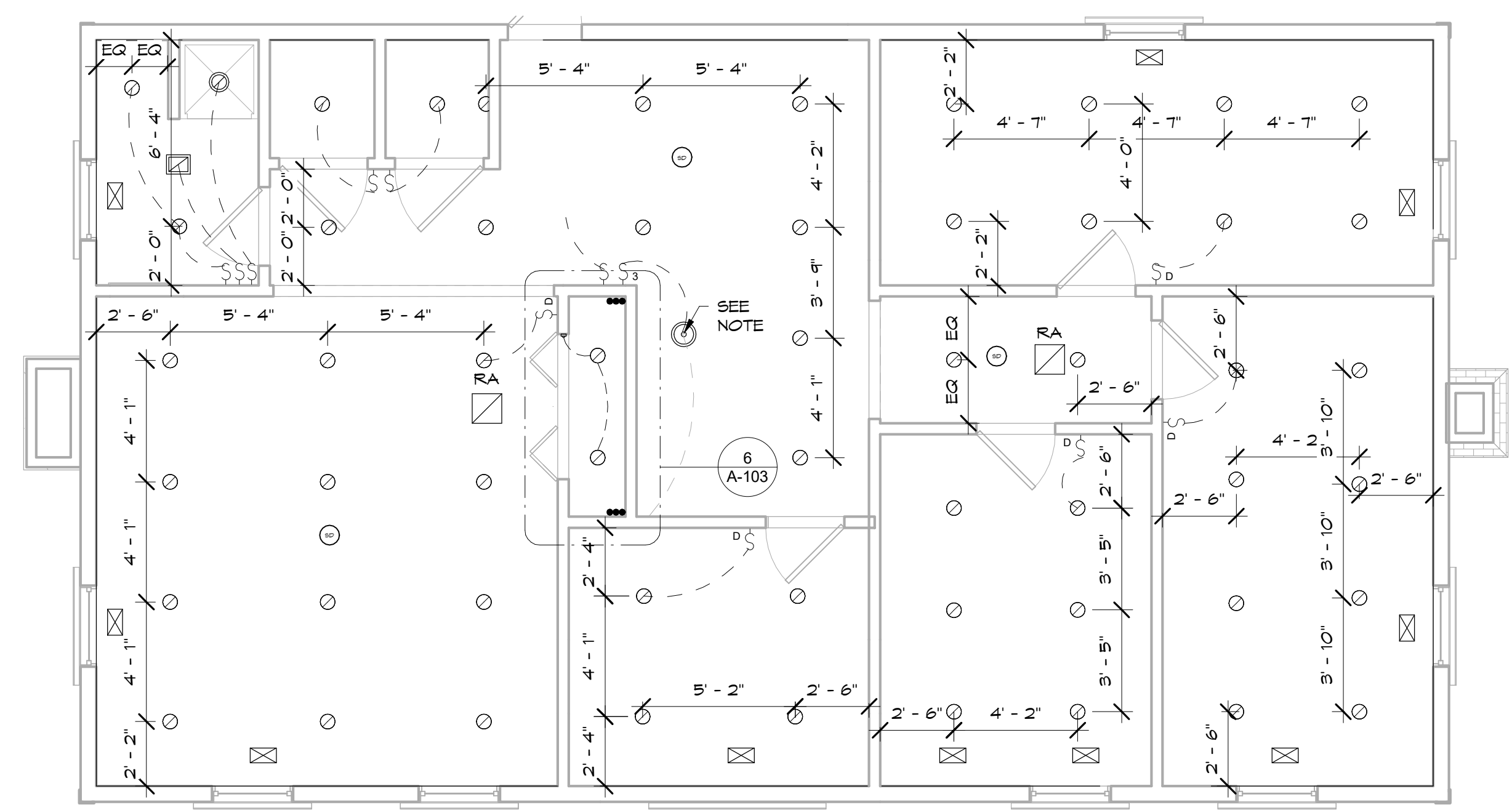
1 SECOND FLOOR PLAN
 A-102 1/4" = 1'-0"



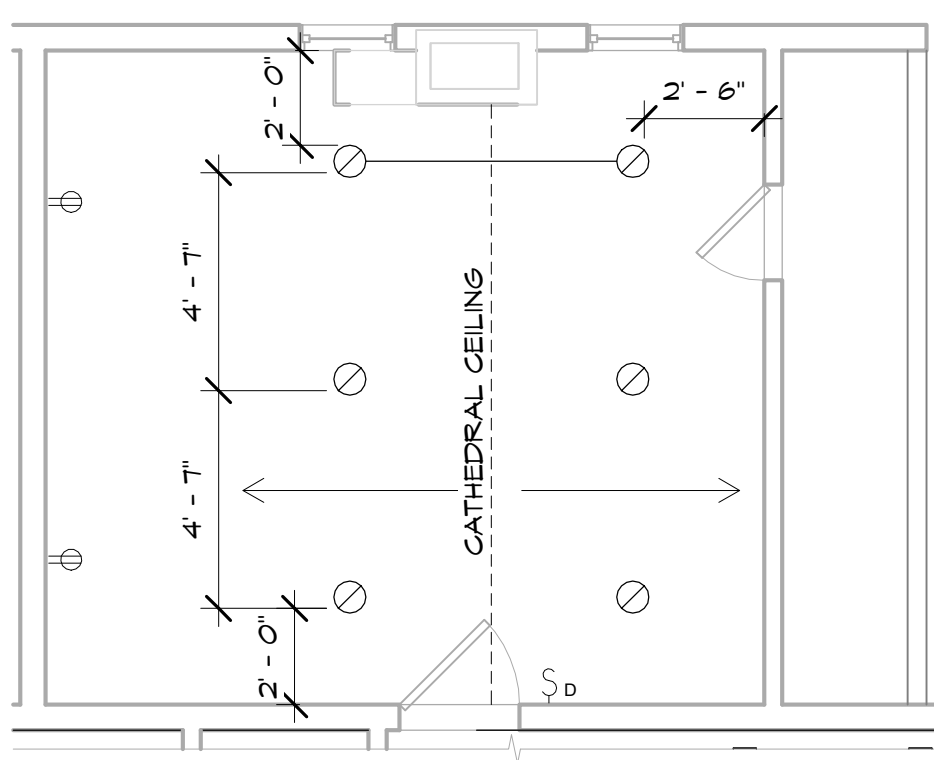
3 RCP BASEMENT
A-103 1/4" = 1'-0"



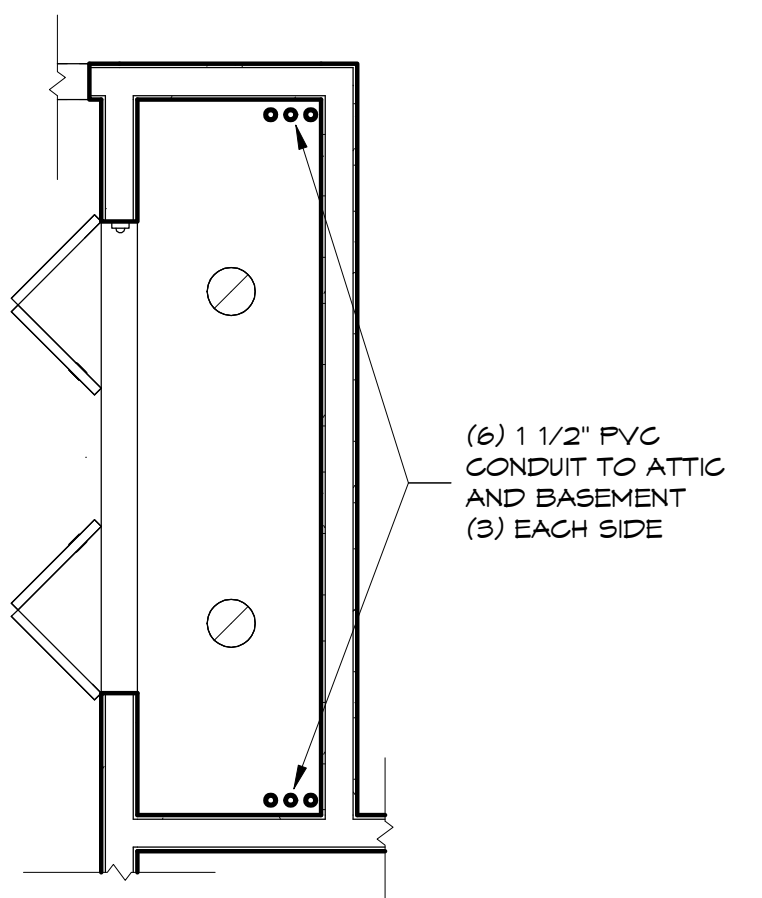
1 RCP FIRST FLOOR
A-103 1/4" = 1'-0"



2 RCP SECOND FLOOR
A-103 1/4" = 1'-0"



5 RCP MAP ROOM
A-103 1/4" = 1'-0"

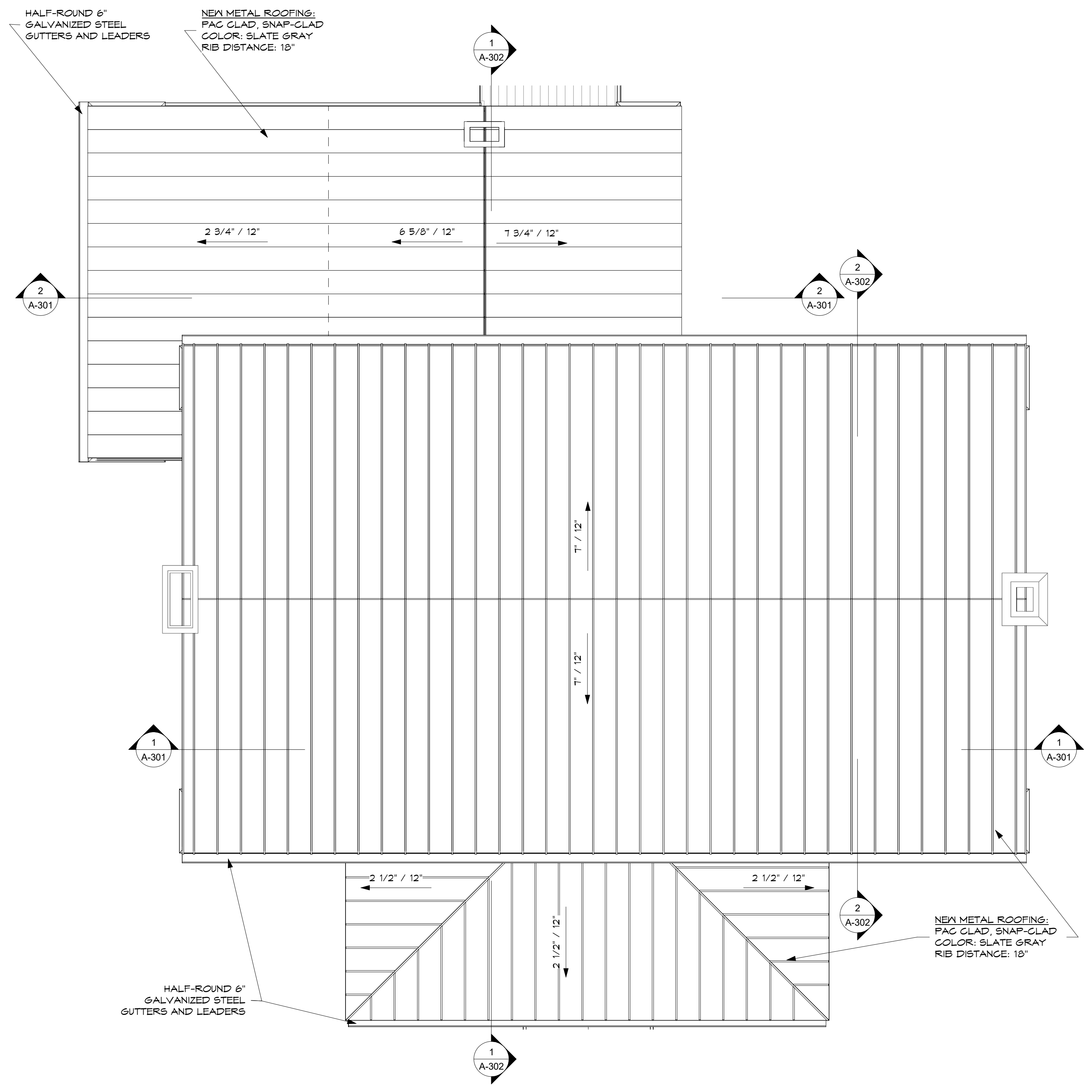


6 IT CLOSET DETAIL
A-103 1/2" = 1'-0"

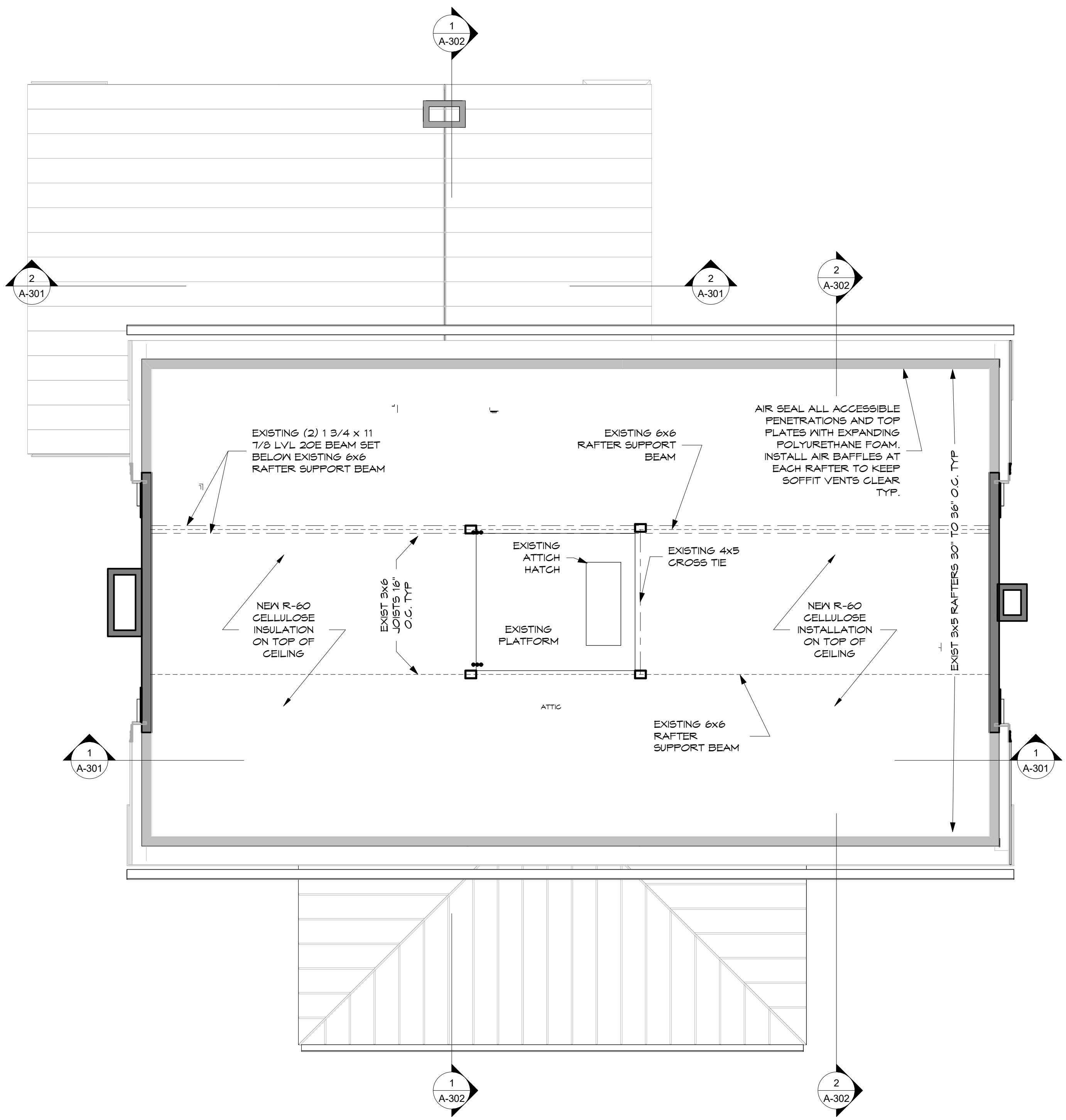
NOTE:
OWNER TO CHOOSE PERIOD-STYLE PENDANT LIGHT FOR STAIRWAY

- | | | | |
|------------------------------------|----|---|----------------------------|
| NEW RETURN AIR GRILLE | RA | S | SINGLE POLE SWITCH |
| NEW SUPPLY AIR DIFFUSER GRILLE | ⊠ | S | 3-WAY SWITCH |
| SURFACE MOUNTED LIGHT FIXTURE | ⊙ | S | 4-WAY SWITCH |
| RECESSED LIGHT FIXTURE | ⊖ | S | DIMMER SWITCH |
| EXHAUST FAN | ⊠ | S | 3-WAY DIMMER SWITCH |
| WATER PROOF RECESSED LIGHT FIXTURE | ⊖ | ⊠ | PUSH BUTTON DOOR OP SWITCH |
| | ⊙ | ⊙ | SMOKE/CO DETECTOR |
| | ⊠ | ⊠ | OCCUPANCY SENSOR |

4 FIXTURE SYMBOLS
A-103 1/4" = 1'-0"



2 ROOF PLAN
 A-104 1/4" = 1'-0"



1 ATTIC PLAN
 A-104 1/4" = 1'-0"

BID SET NOT FOR CONSTRUCTION

EXTERIOR FINISHES:

ITEM	BRAND	COLOR	OTHER
SIDING	BENJAMIN MOORE	OC-151 "WHITE"	SATIN FINISH
TRIM/WORK	BENJAMIN MOORE	OC-151 "WHITE"	SEMI-GLOSS FINISH
ROOFING	PAC CLAD, SNAP-GLAD	SLATE GRAY	18"
GUTTERS	TBD	GALVANIZED	6" HALF ROUND

4 EXTERIOR FINISHES

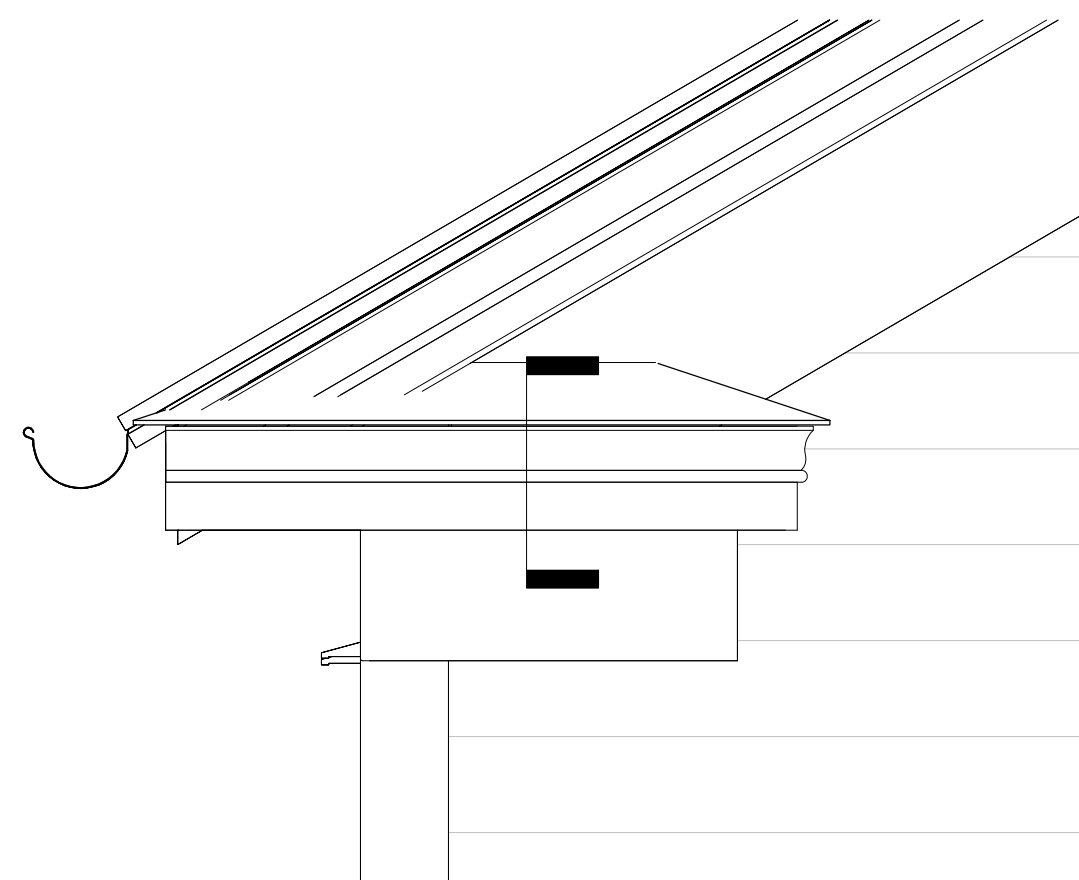
A-201 1/2" = 1'-0"



PHOTO OF ORIGINAL PORCH



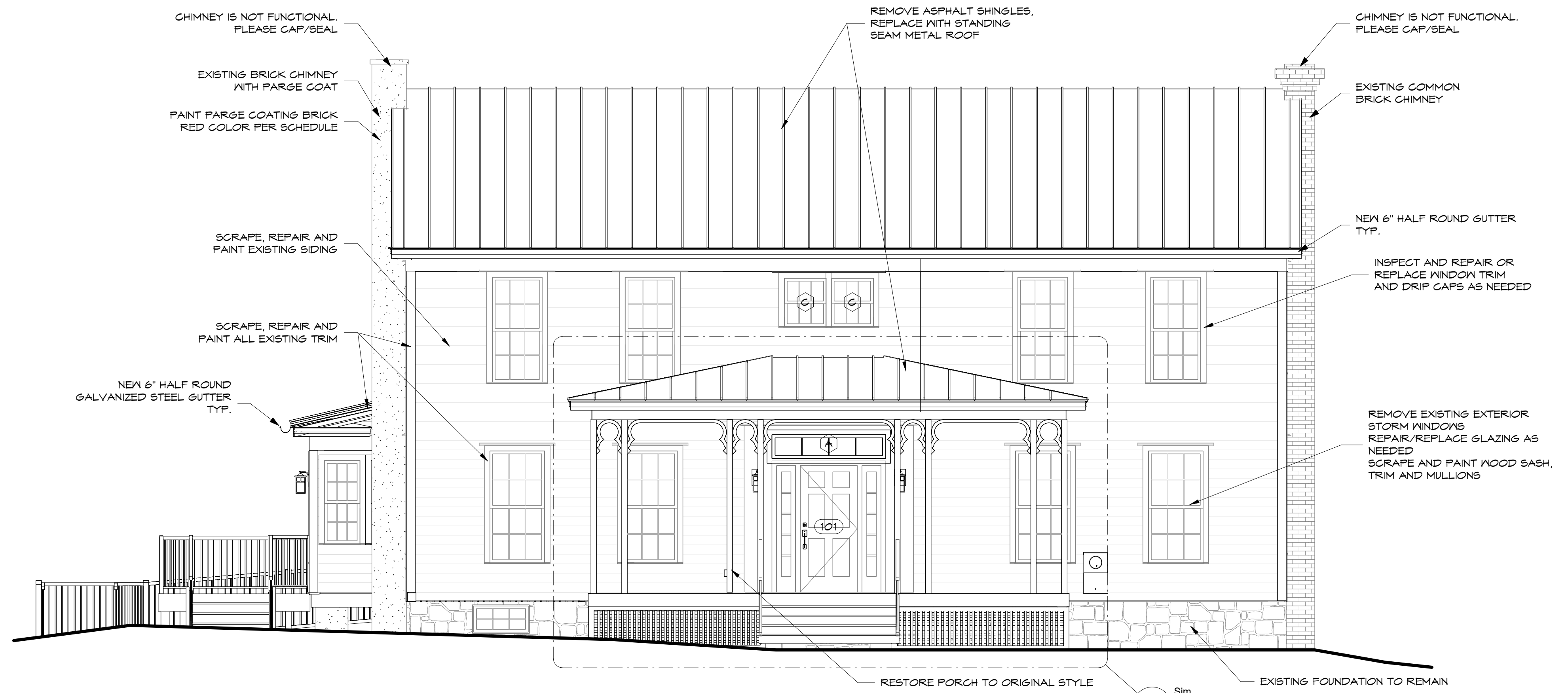
PHOTO OF ORIGINAL EAVE RETURN



CROWN MOLDING PROFILE TO MATCH EXISTING

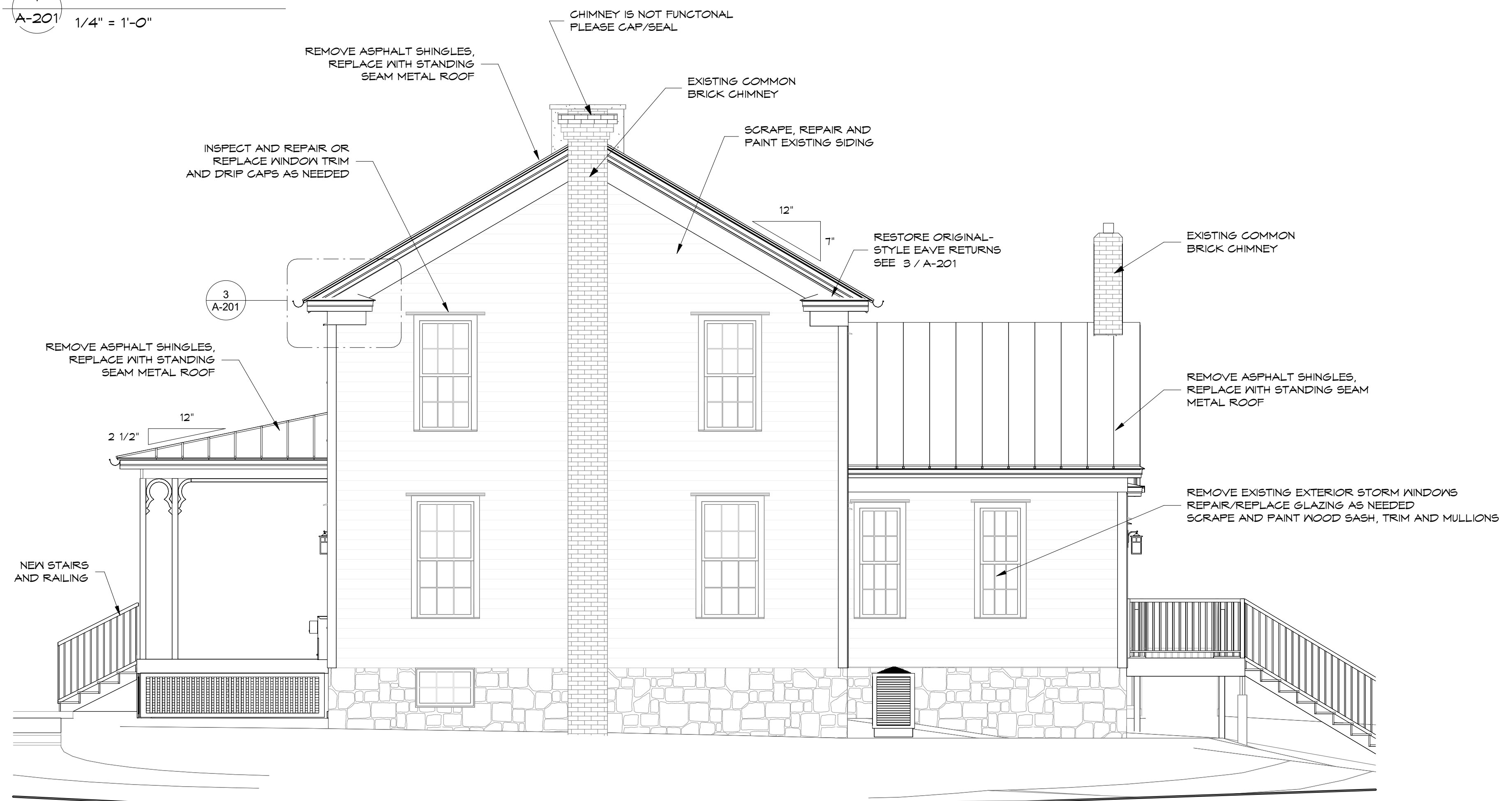
3 EAVE RETURN DETAIL

A-201 1" = 1'-0"



1 EAST ELEVATION

A-201 1/4" = 1'-0"



2 NORTH ELEVATION

A-201 1/4" = 1'-0"

Creating spaces and places of lasting beauty

ALFANDRE ARCHITECTURE

231 Magn Street, Suite 201 New Paltz, NY 12561 845.255.4774 www.alfandre.com

CONSTRUCTION DOCUMENTS

BROOK FARM HOUSE

LENAPE LANE, NEW PALTZ, NY 12561

ELEVATIONS

DRAWN BY: RDG

PROJECT NO: 22-107

DATE: 07-05-2023

A-201

IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

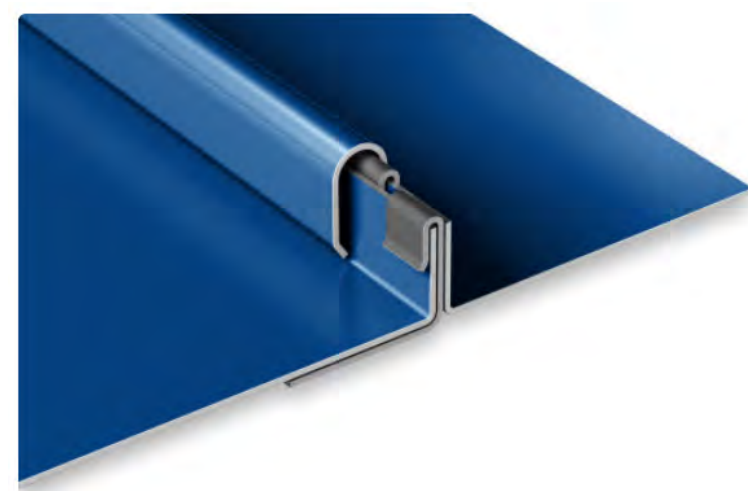
BID SET NOT FOR CONSTRUCTION

EXTERIOR FINISHES:

ITEM	BRAND	COLOR	OTHER
SIDING	BENJAMIN MOORE	OC-151 "WHITE"	SATIN FINISH
TRIM/WORK	BENJAMIN MOORE	OC-151 "WHITE"	SEMI-GLOSS FINISH
ROOFING	FAC GLAD, SNAP-ON STANDING SEAM	SLATE GRAY	18" O.C.

White
OC-151

BENJAMIN MOORE

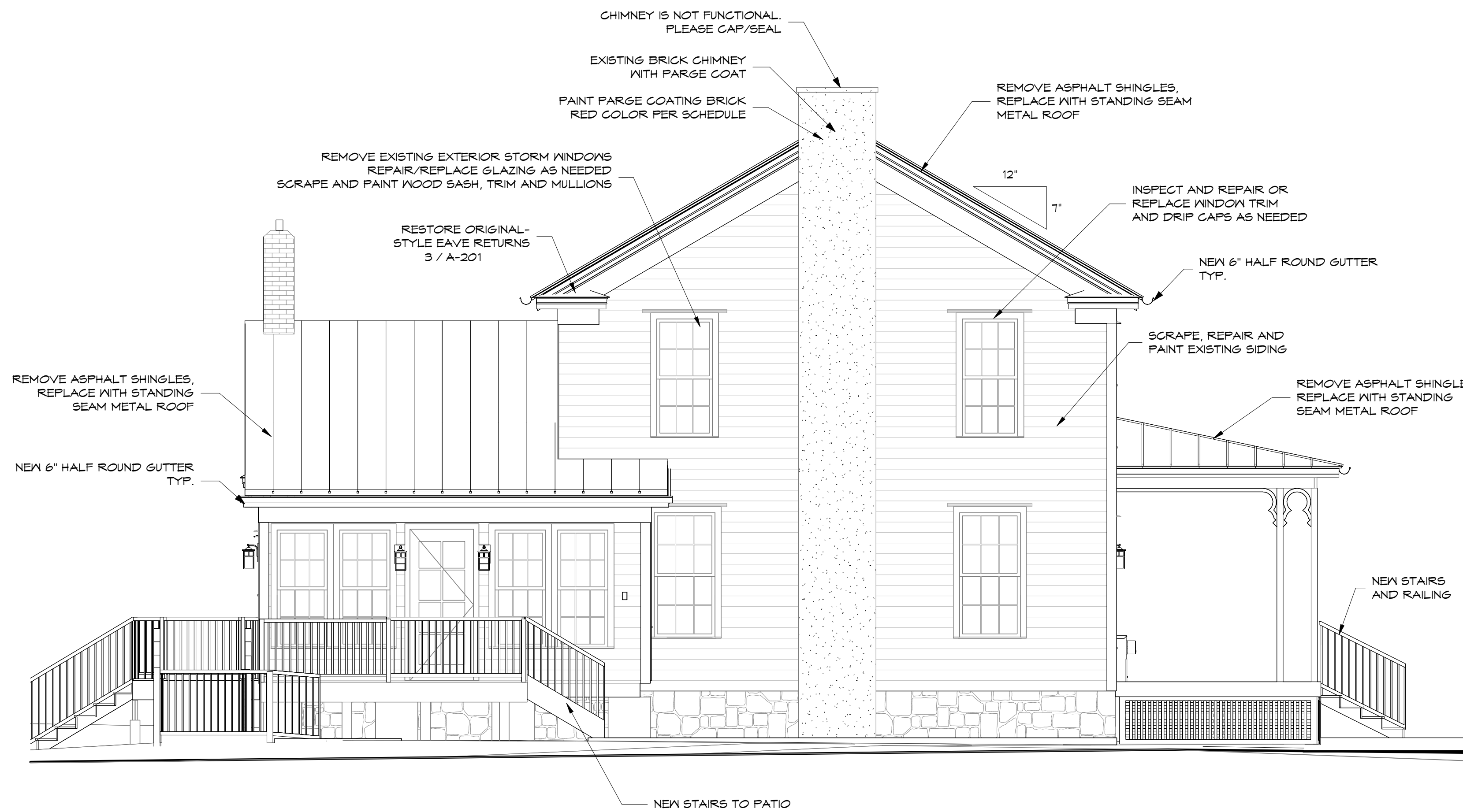


3 EXTERIOR FINISHES.

A-202 1/2" = 1'-0"

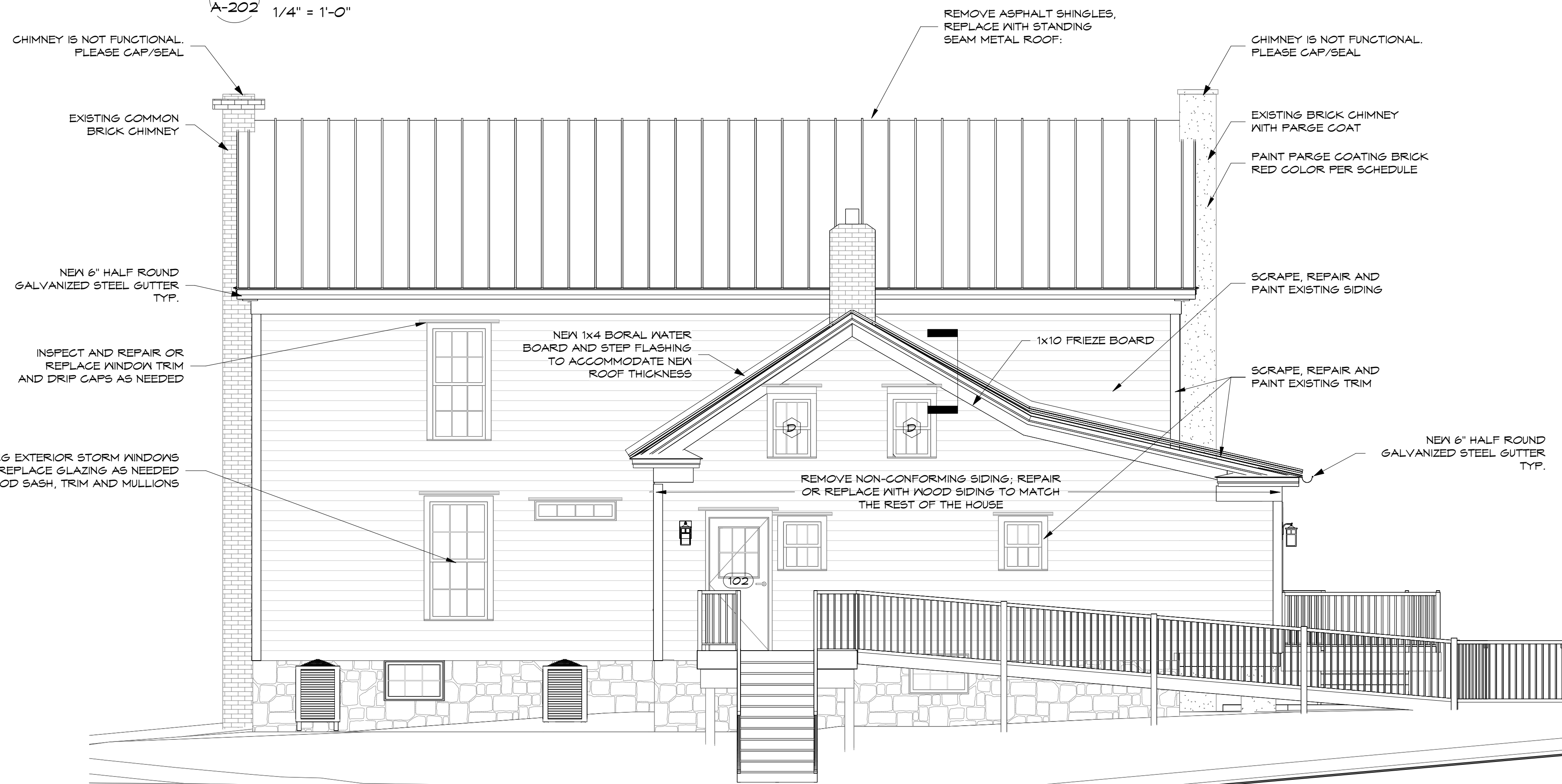


FAC-GLAD SNAP-ON STANDING SEAM INSTALLATION INFORMATION CAN BE FOUND USING THE ABOVE QR CODE



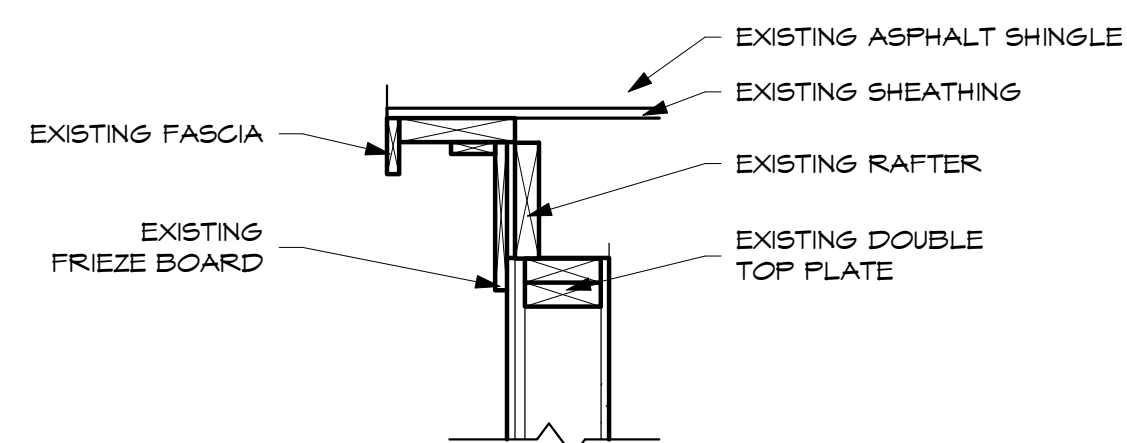
1 SOUTH ELEVATION

A-202 1/4" = 1'-0"



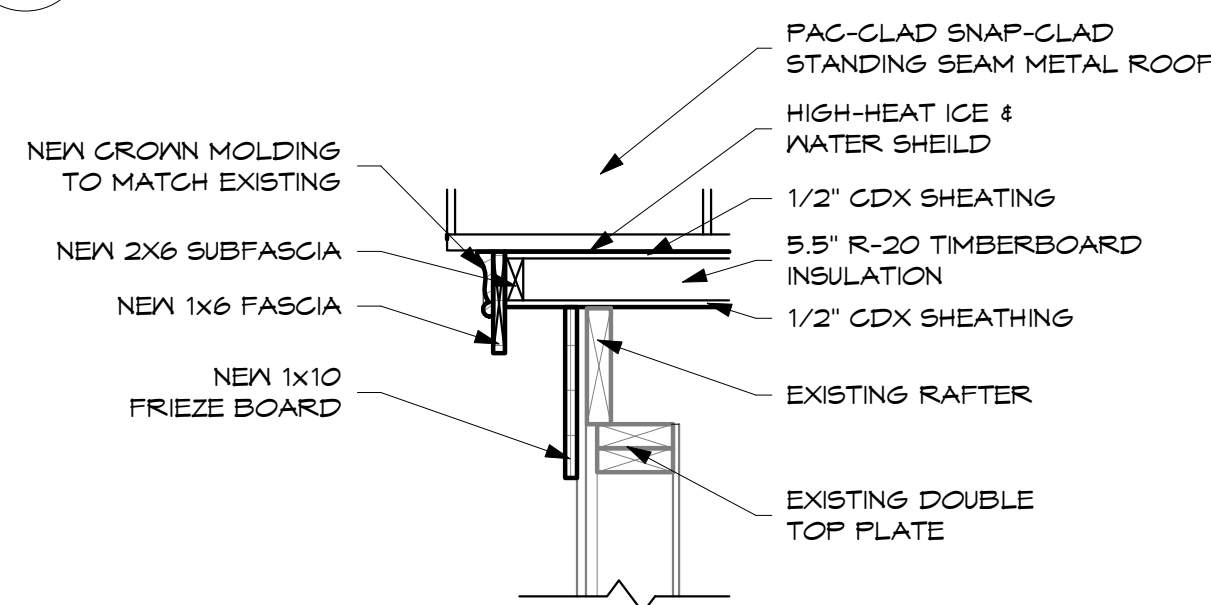
2 WEST ELEVATION

A-202 1/4" = 1'-0"



5 WEST SIDE EXISTING EAVE

A-202 1" = 1'-0"



4 WEST SIDE NEW EAVE

A-202 1" = 1'-0"

Creating spaces and places of lasting beauty

ALFANDRE ARCHITECTURE

231 Magn Street, Suite 201 New Paltz, NY 12561 845.255.4774 www.alfandre.com

CONSTRUCTION DOCUMENTS

BROOK FARM HOUSE

LENAPE LANE, NEW PALTZ, NY 12561

ELEVATIONS

DRAWN BY:
RDG

PROJECT NO:
22-107

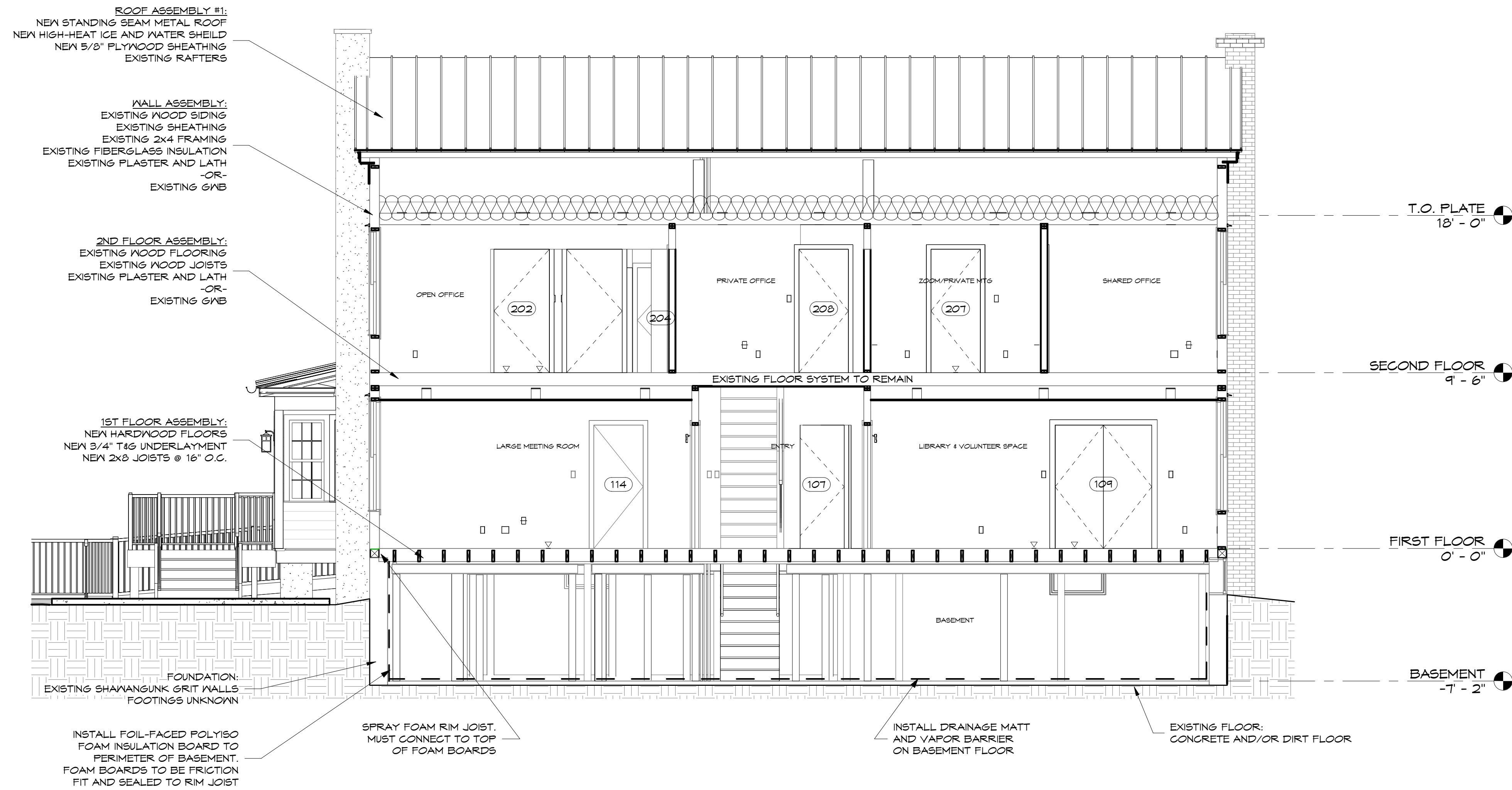
DATE:
07-05-2023

A-202

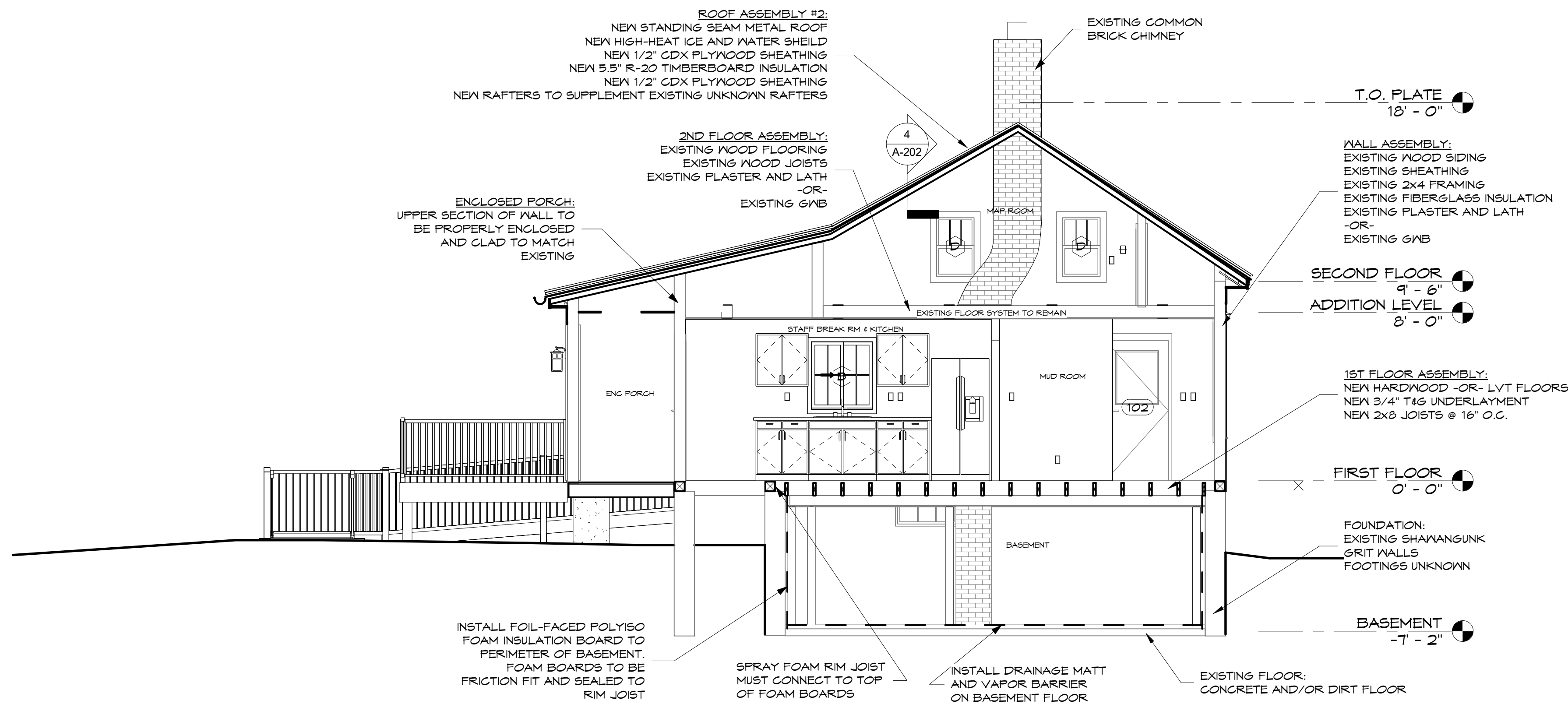
IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

1/26/2023 3:44:35 PM

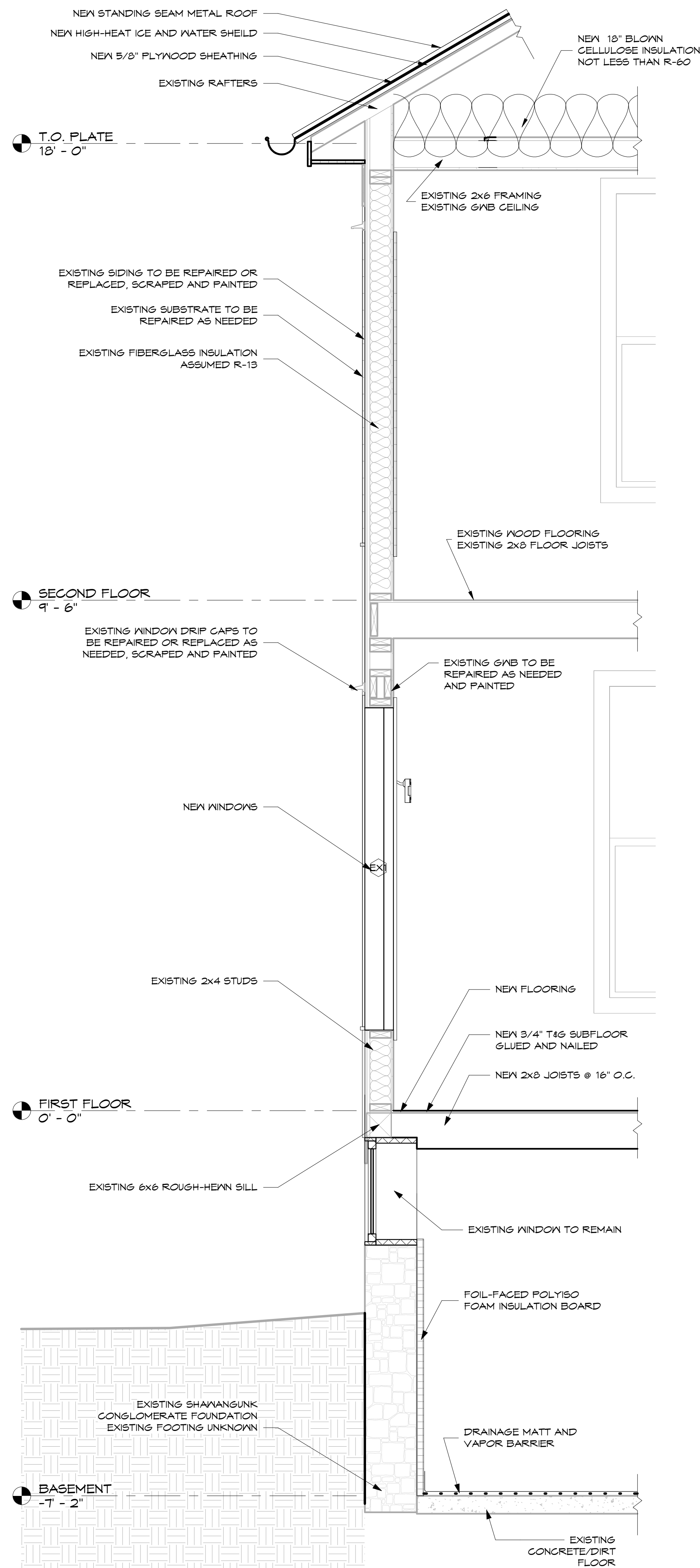
BID SET NOT FOR CONSTRUCTION



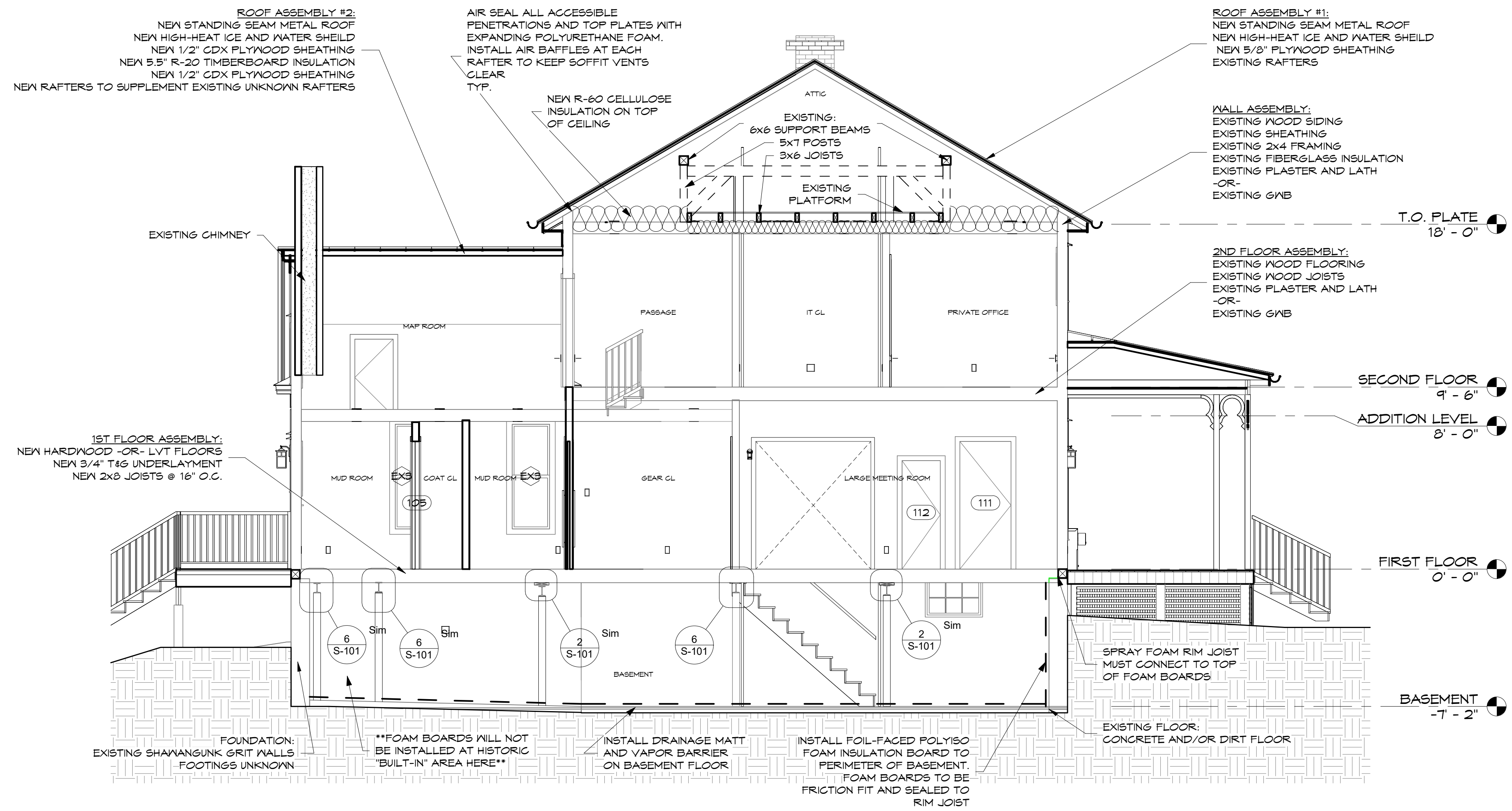
1 SECTION 1
A-301 1/4" = 1'-0"



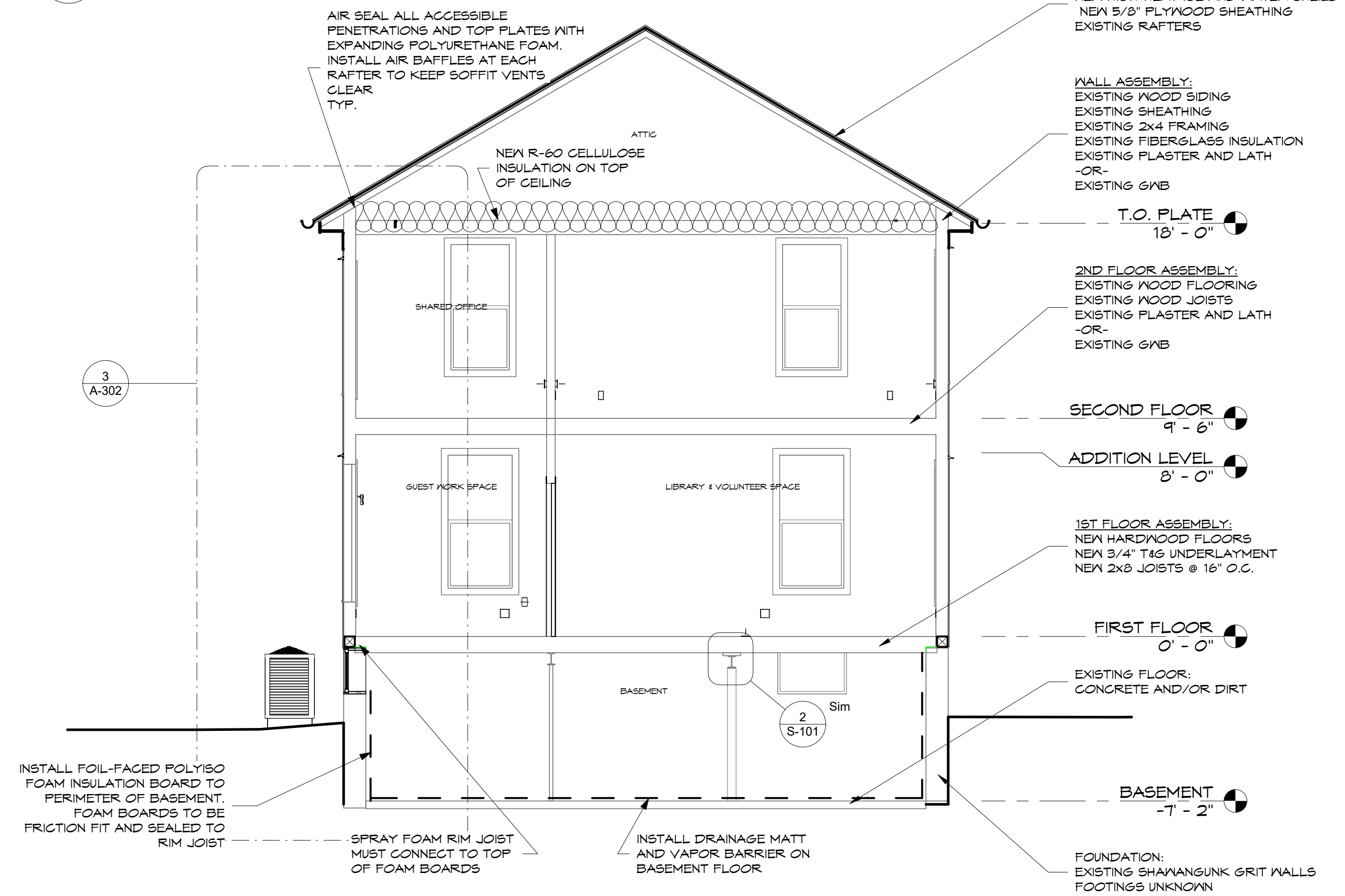
2 SECTION 2
A-301 1/4" = 1'-0"



3 EXTERIOR WALL ASSEMBLY
A-302 3/4" = 1'-0"



1 SECTION 3
A-302 1/4" = 1'-0"



2 SECTION 4
A-302 1/4" = 1'-0"

ALFANDRE ARCHITECTURE

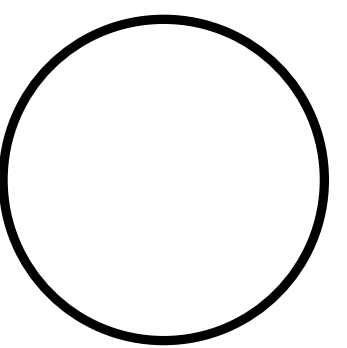
CONSTRUCTION DOCUMENTS
BROOK FARM HOUSE

LENAPE LANE, NEW PALTZ, NY 12561

SECTIONS

DRAWN BY:
RDG
PROJECT NO:
22-107
DATE:
07-05-2023

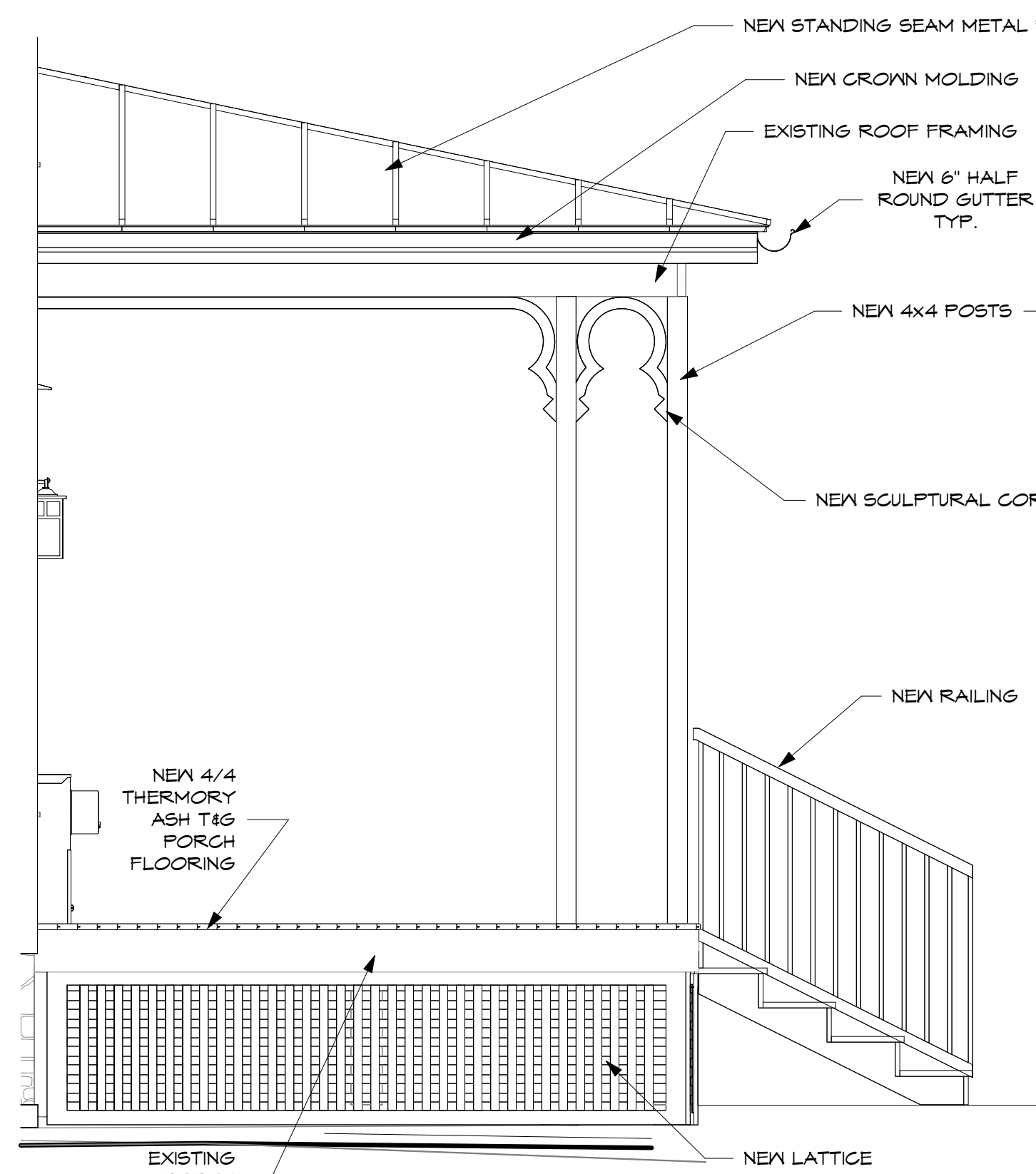
A-302



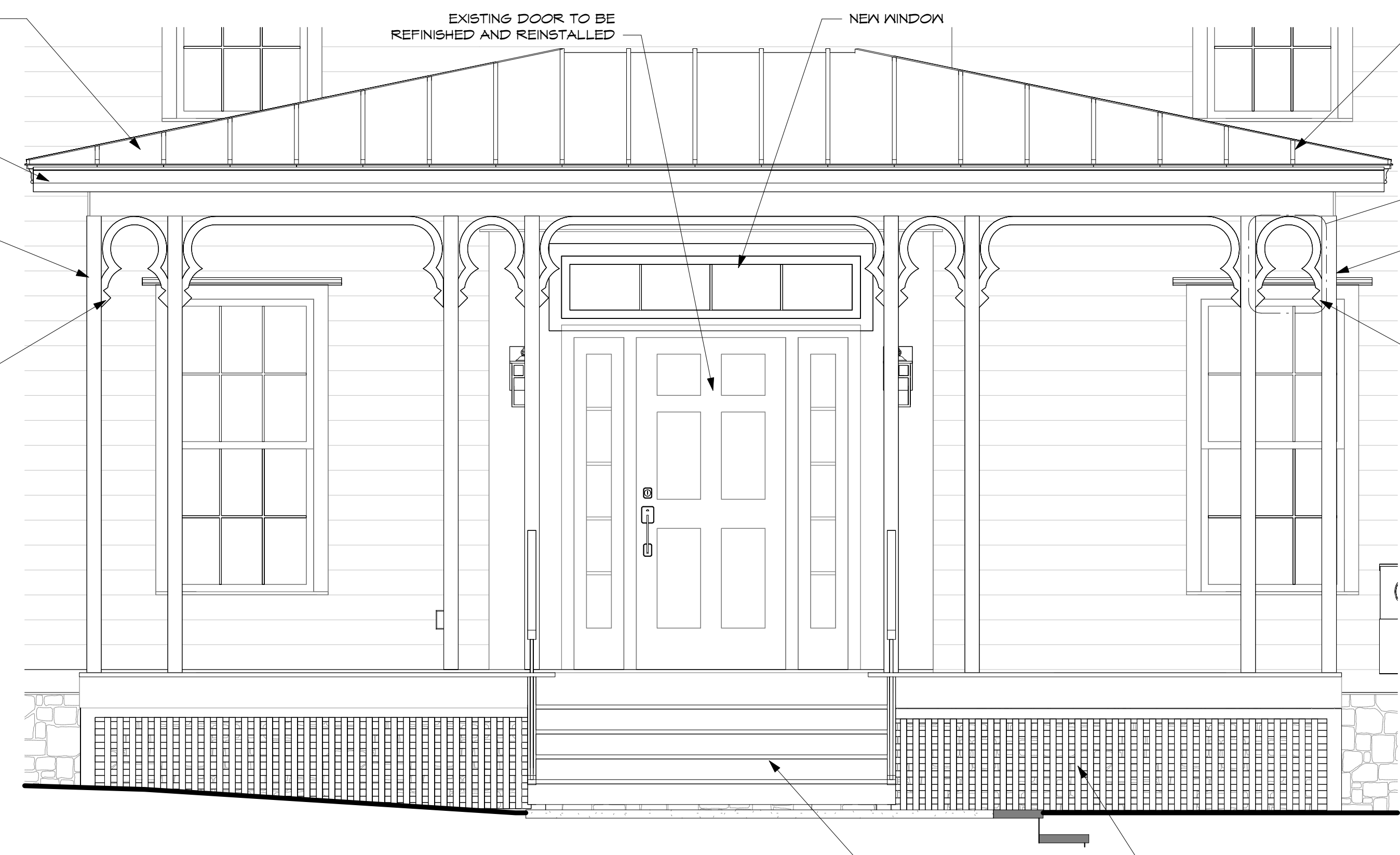
IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

BID SET NOT FOR CONSTRUCTION

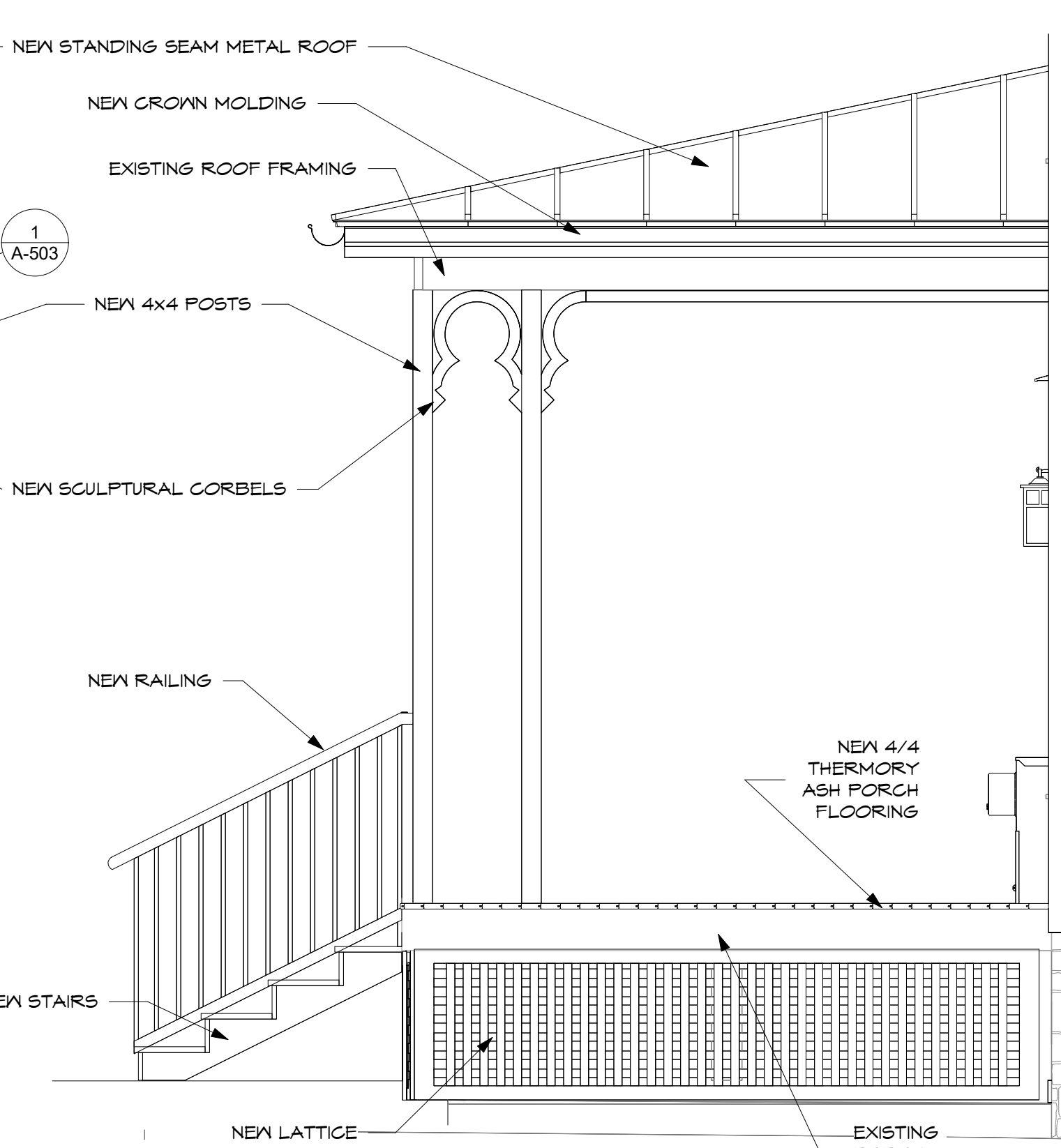
1/26/2023 10:46:58 PM



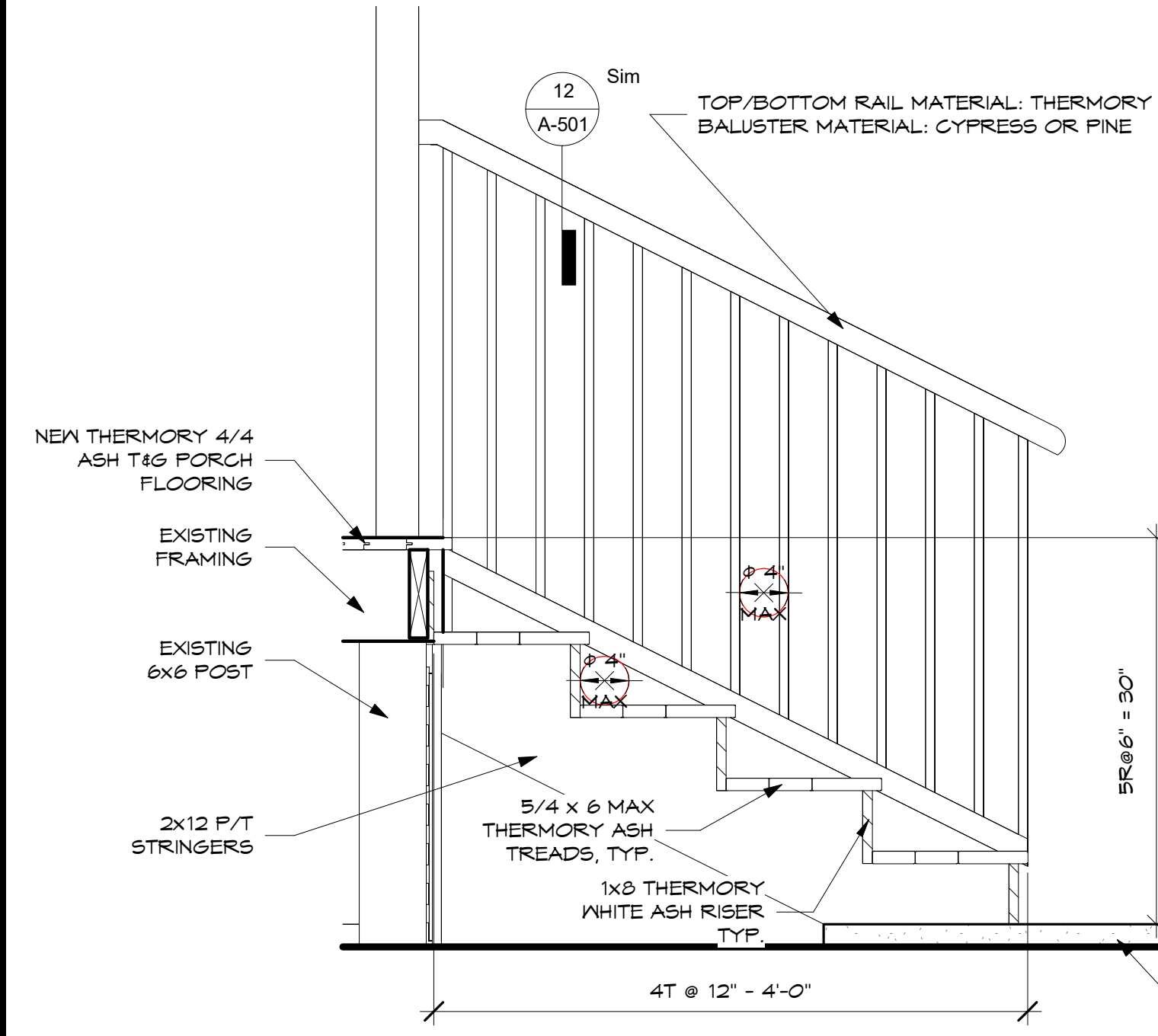
3 SOUTH ELEVATION PORCH DETAIL
A-501 1/2" = 1'-0"



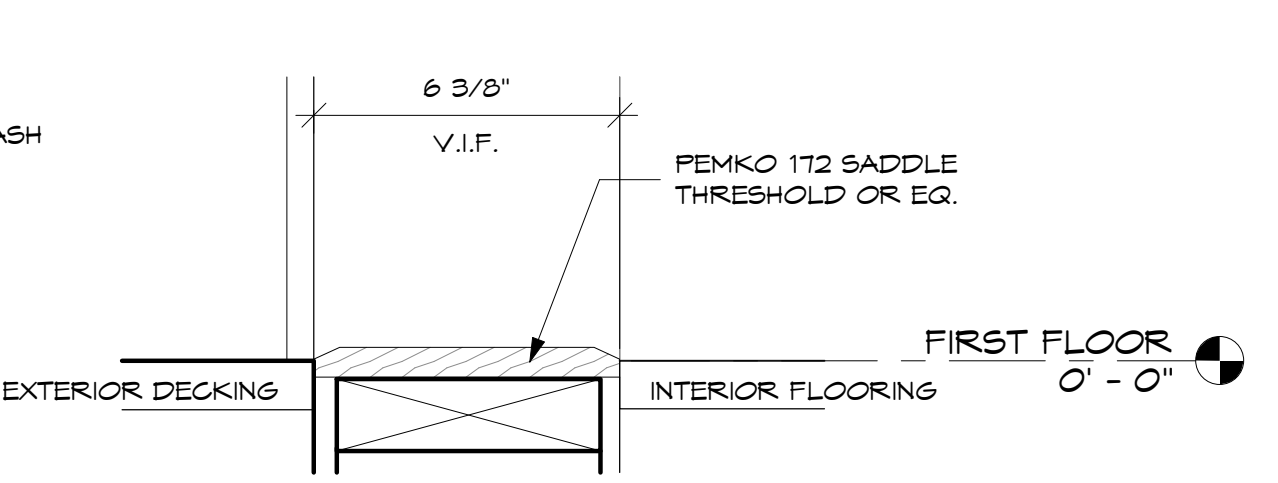
1 EAST ELEVATION PORCH DETAIL
A-501 1/2" = 1'-0"



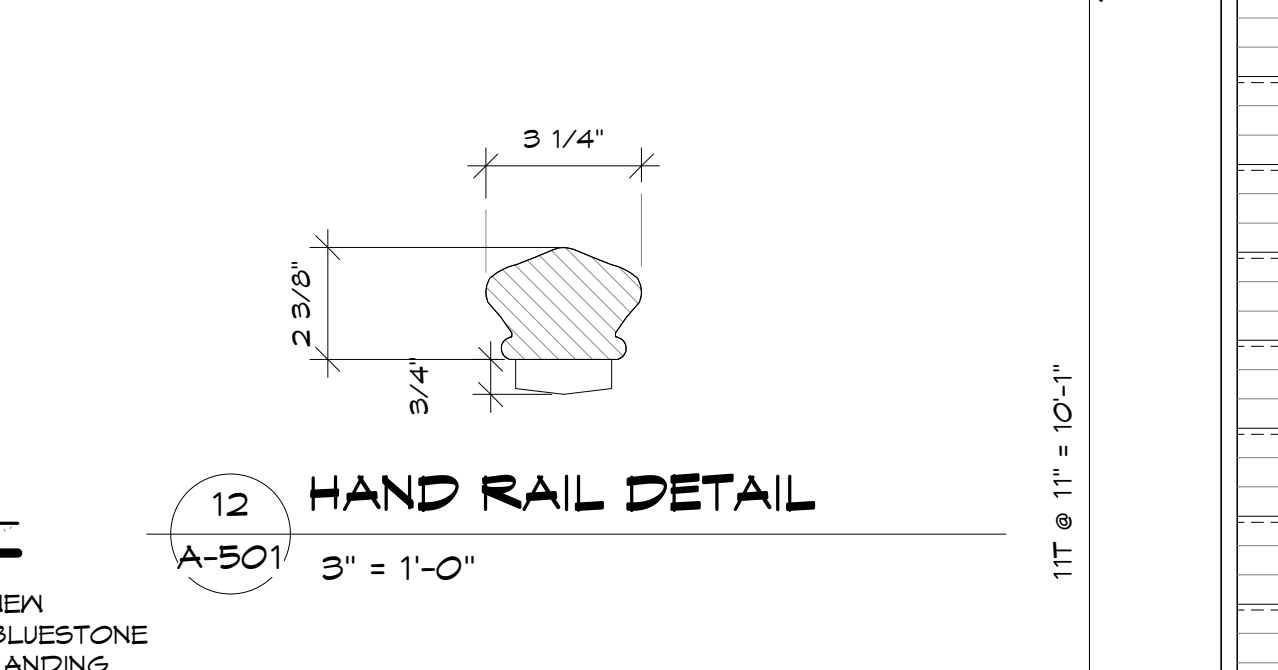
2 NORTH ELEVATION PORCH DETAIL
A-501 1/2" = 1'-0"



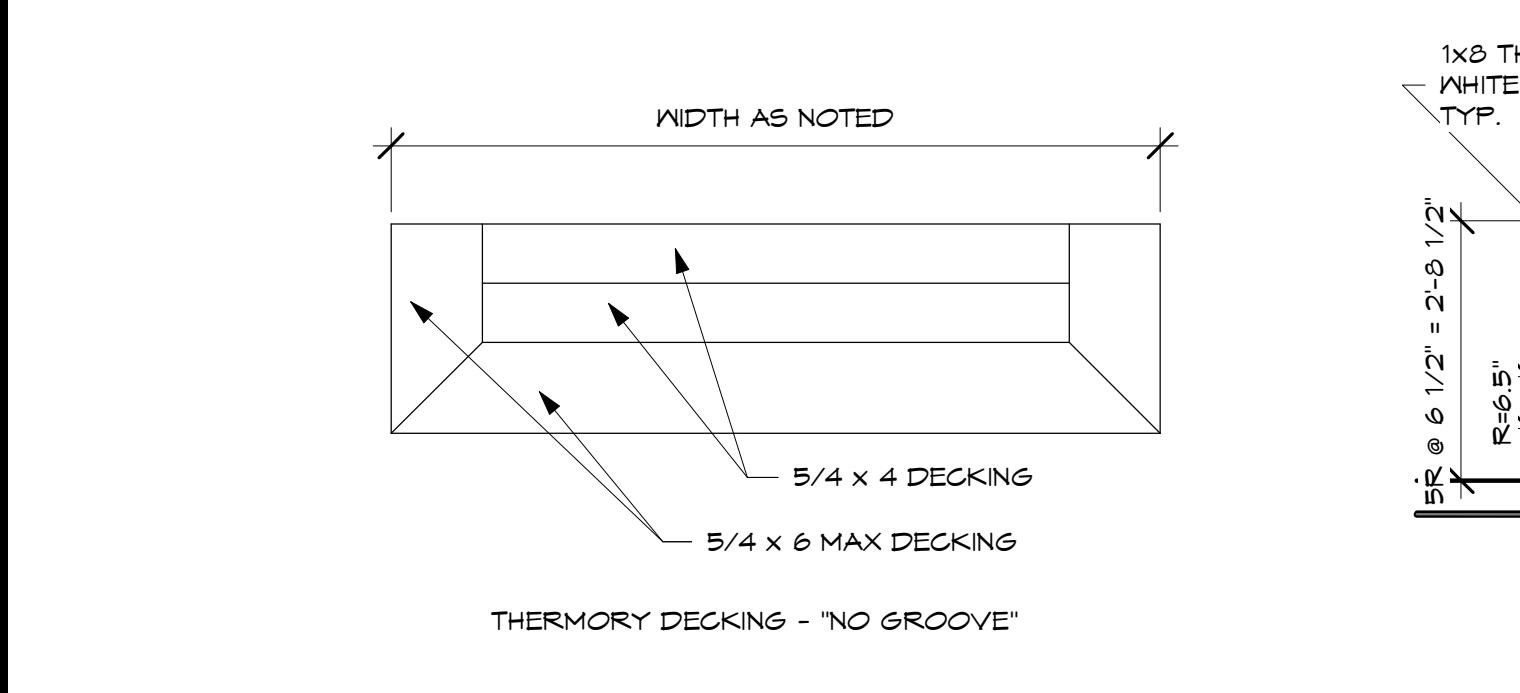
6 FRONT PORCH STAIR DETAIL
A-501 1" = 1'-0"



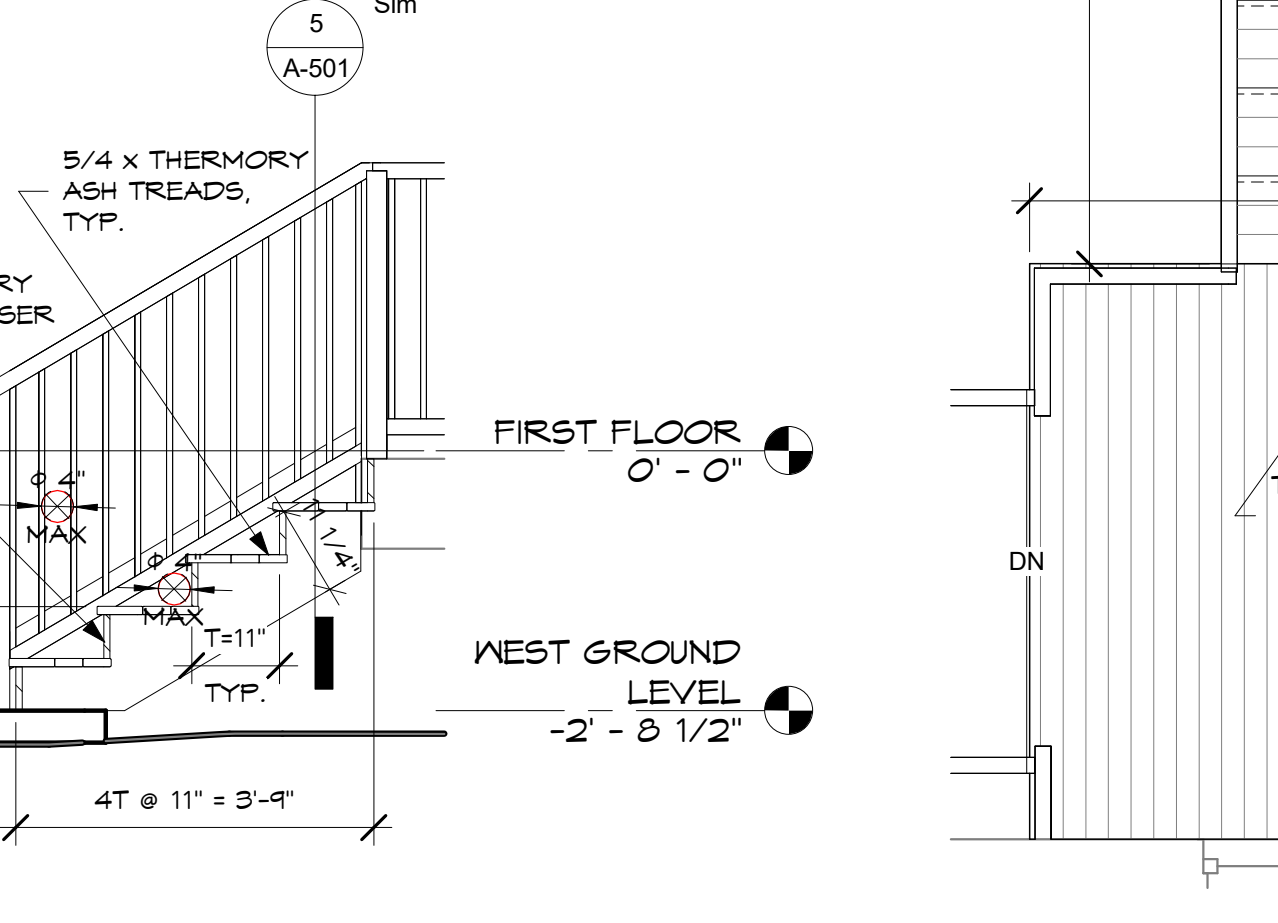
9 ADA THRESHOLD DETAIL
A-501 3" = 1'-0"



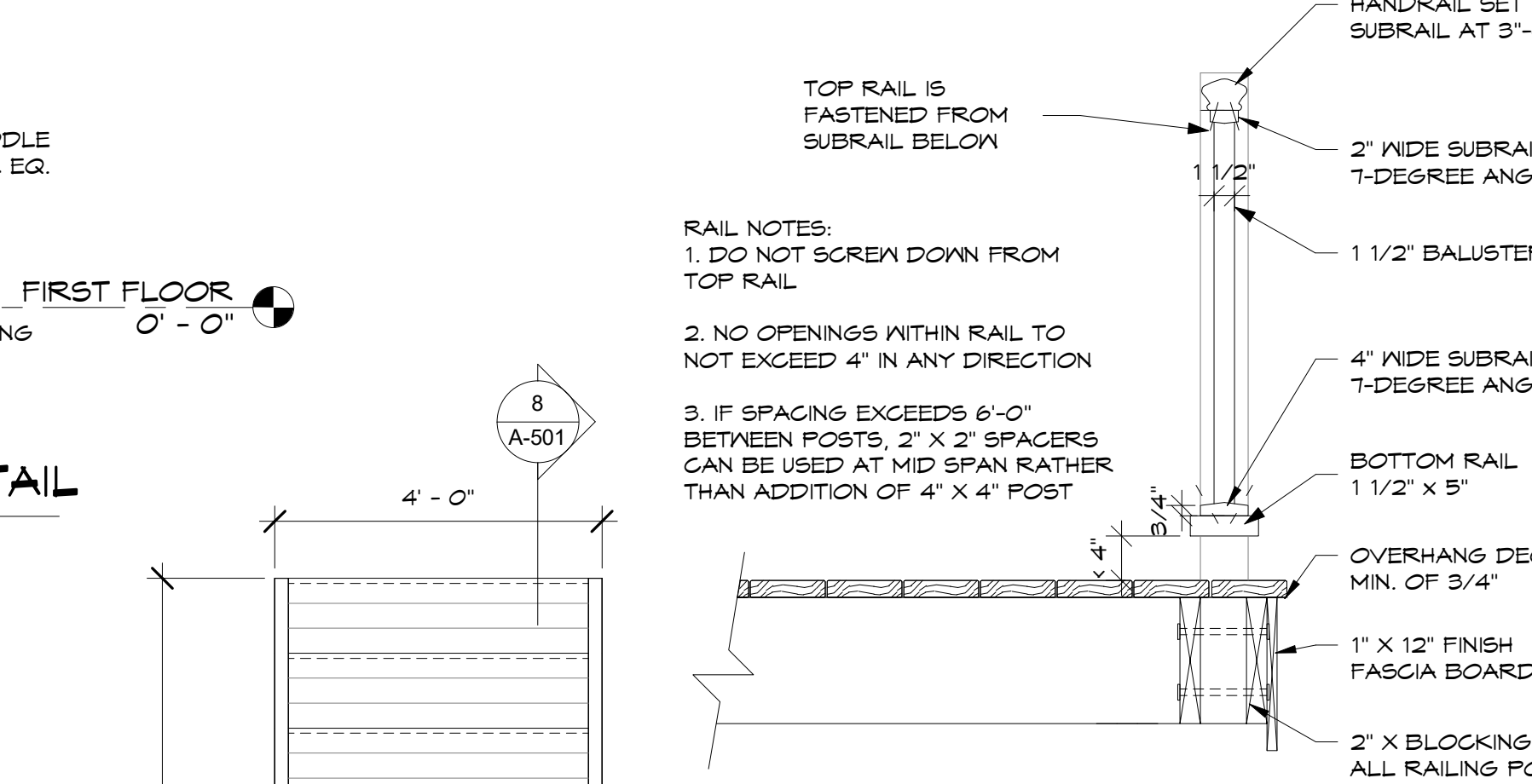
12 HAND RAIL DETAIL
A-501 3" = 1'-0"



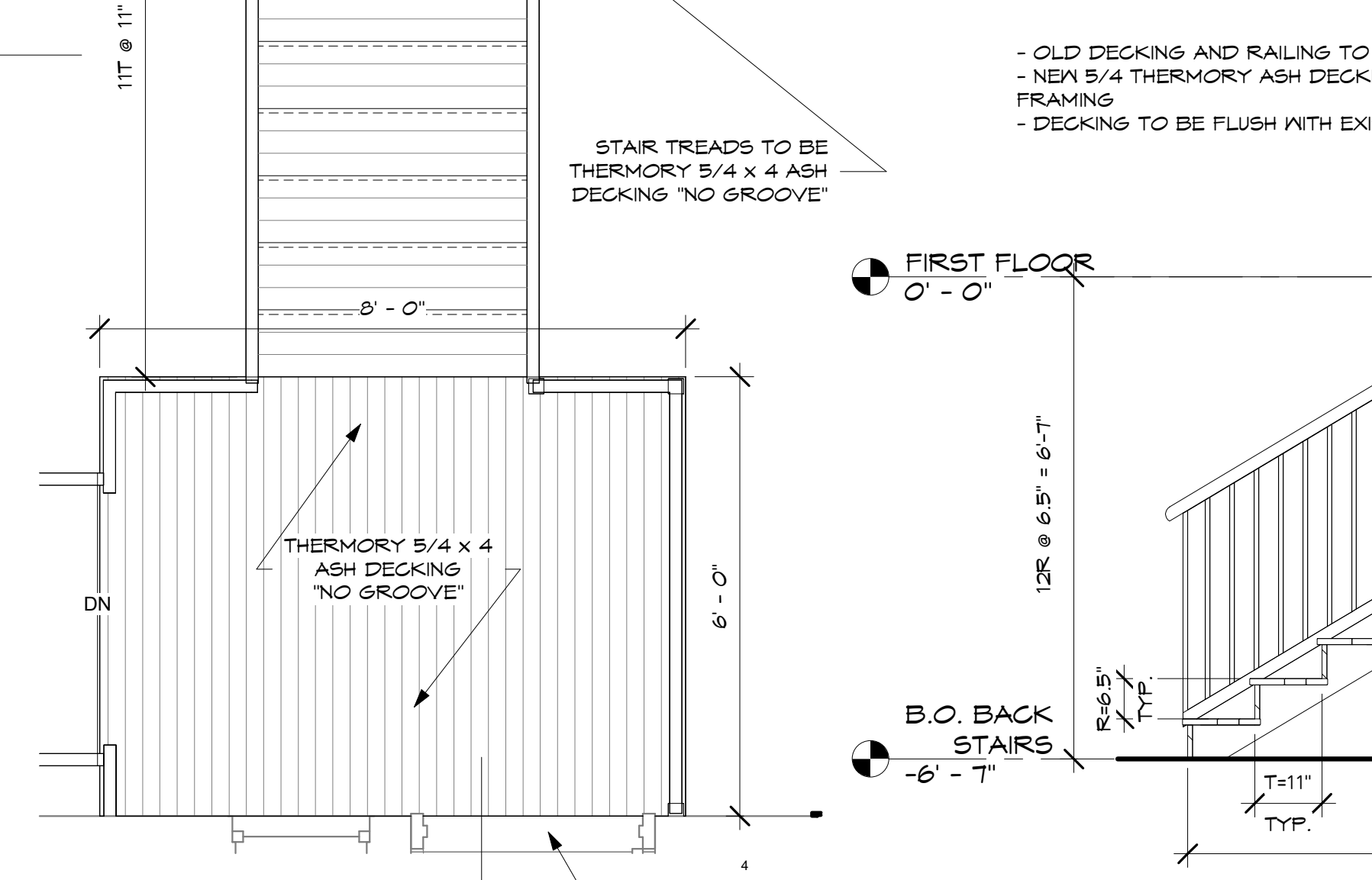
7 12" TREAD DETAIL
A-501 1" = 1'-0"



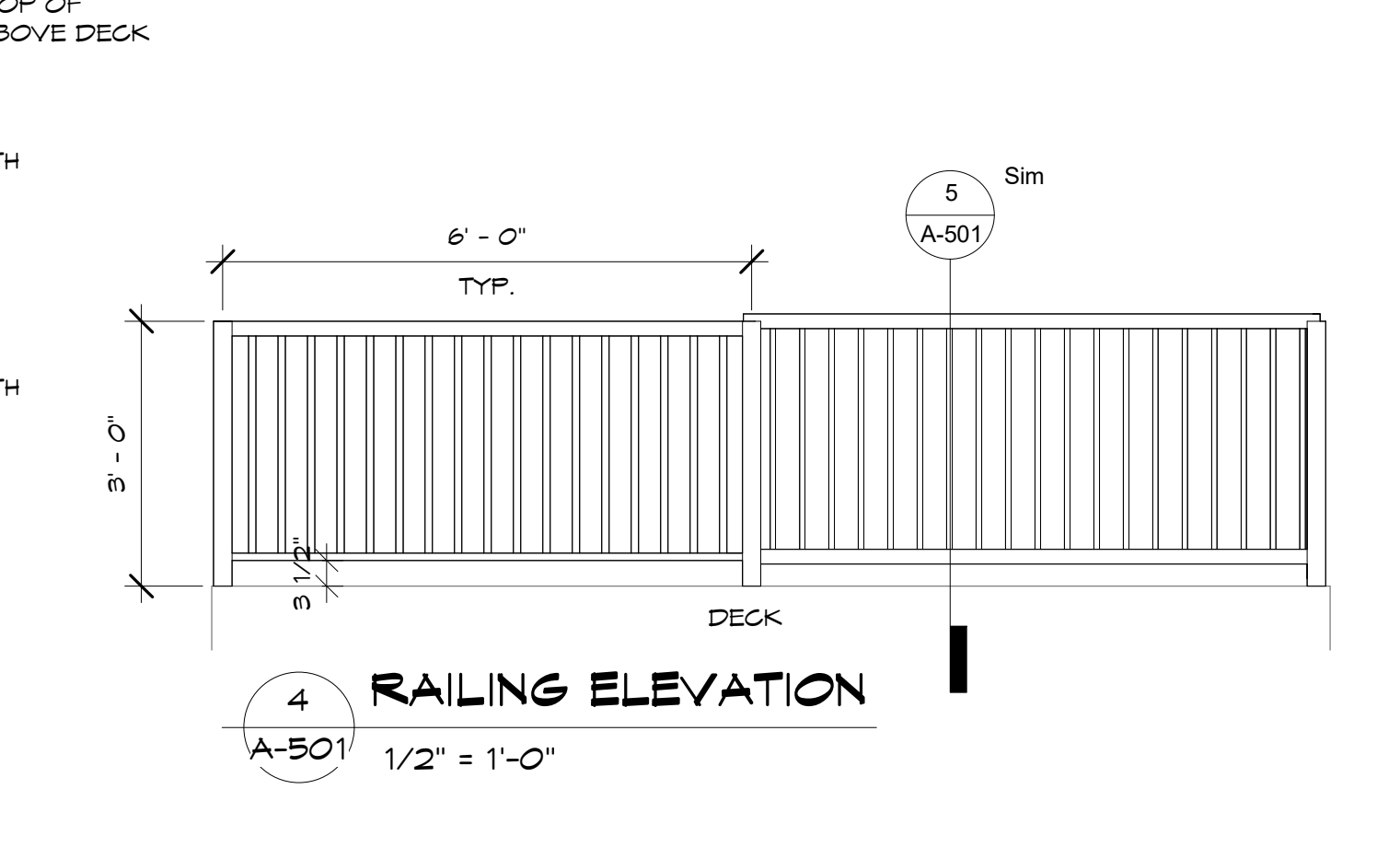
11 SECTION THRU SIDE PORCH STAIR
A-501 1/2" = 1'-0"



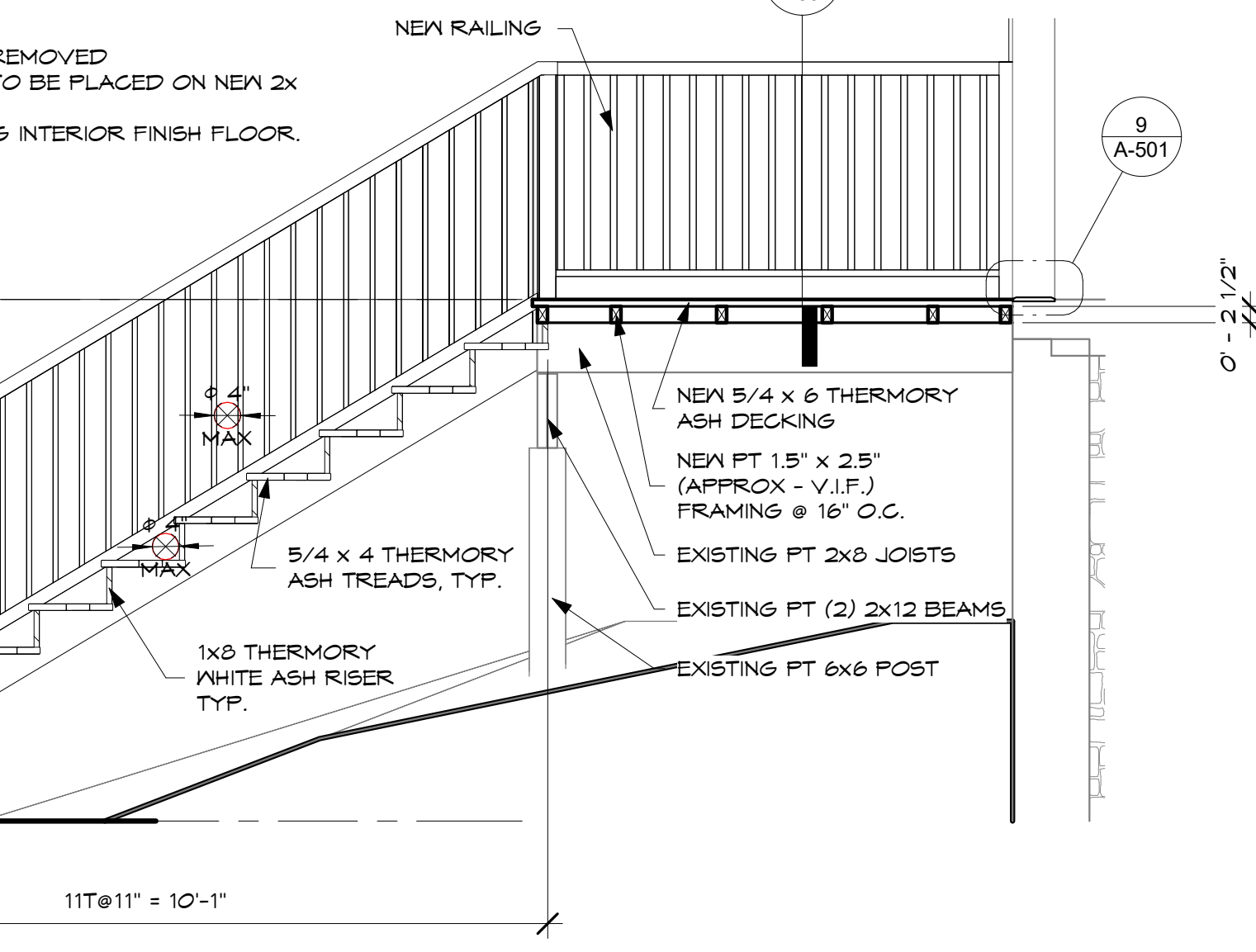
5 RAILING DETAIL
A-501 1" = 1'-0"



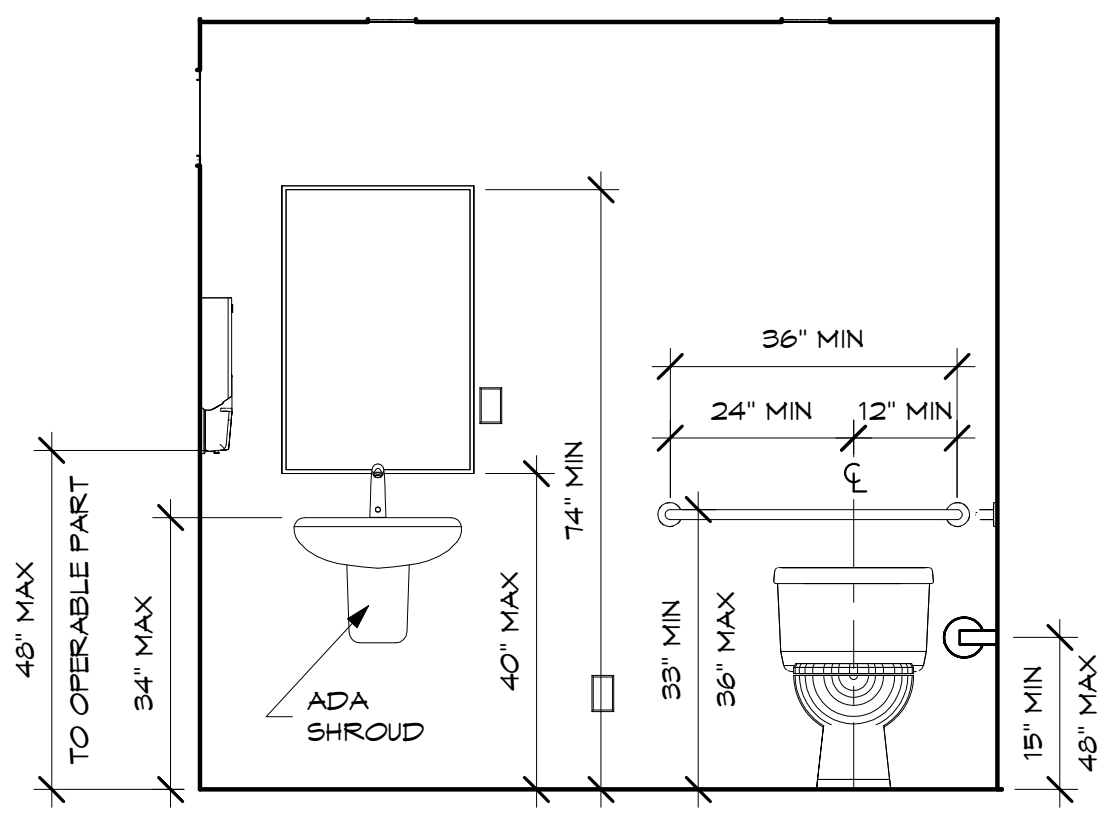
10 DECK PLAN
A-501 1/2" = 1'-0"



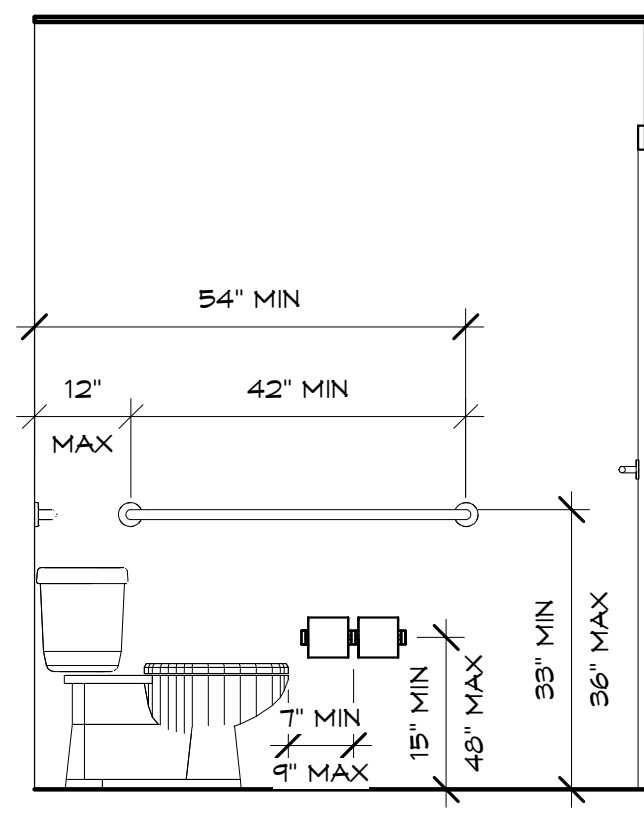
4 RAILING ELEVATION
A-501 1/2" = 1'-0"



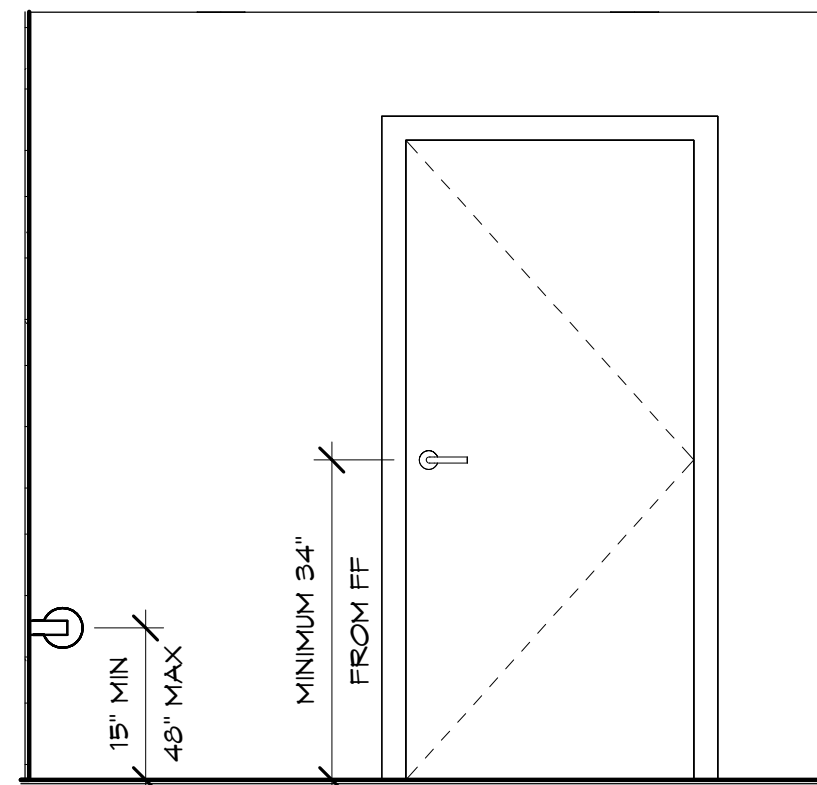
8 SECTION THRU BACK DECK AND STAIR
A-501 1/2" = 1'-0"



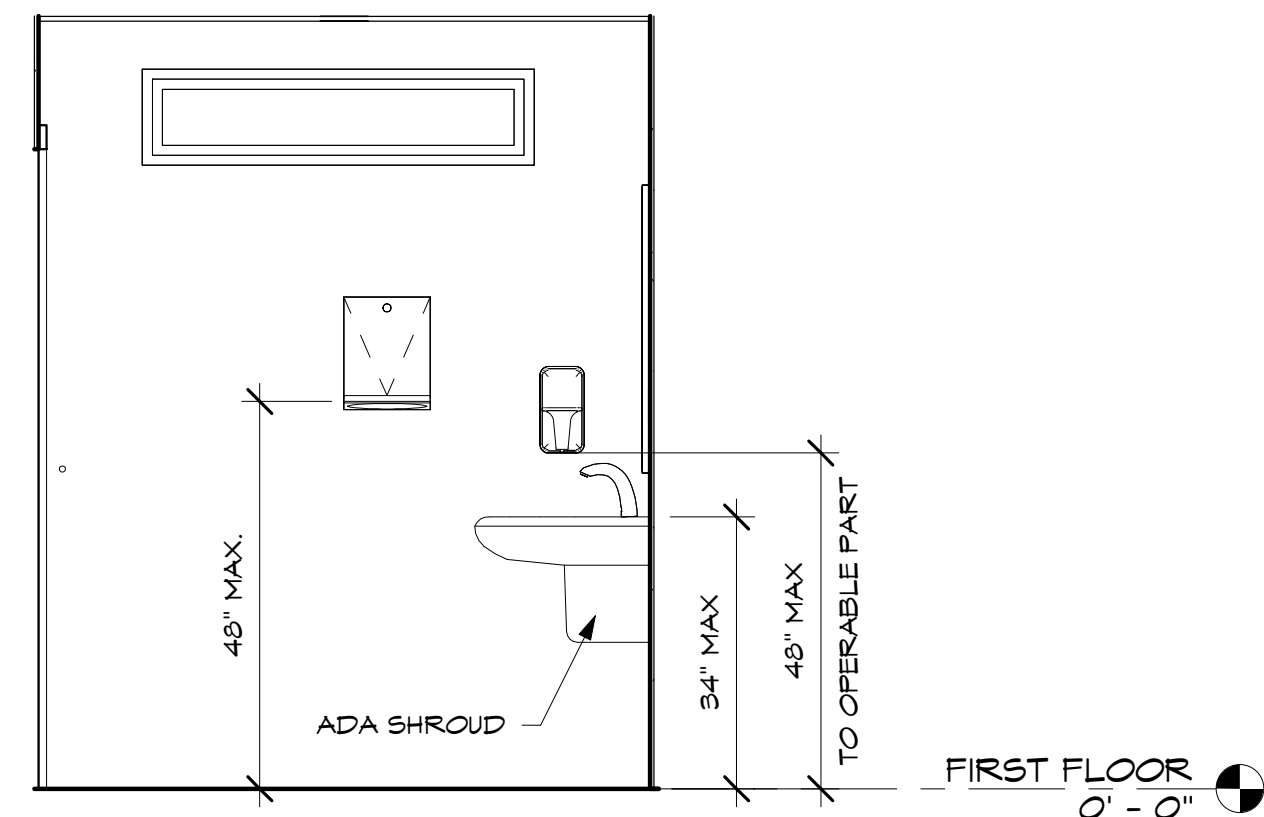
1 ADA LAV 1
A-502 1/2" = 1'-0"



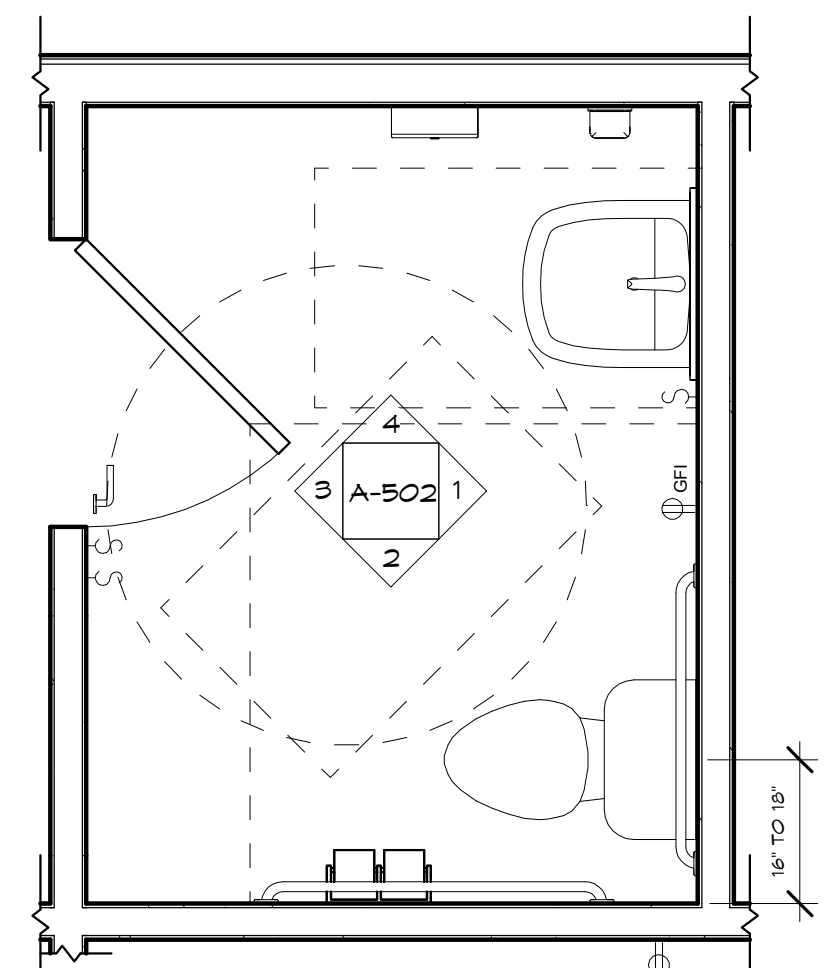
2 ADA LAV 2
A-502 1/2" = 1'-0"



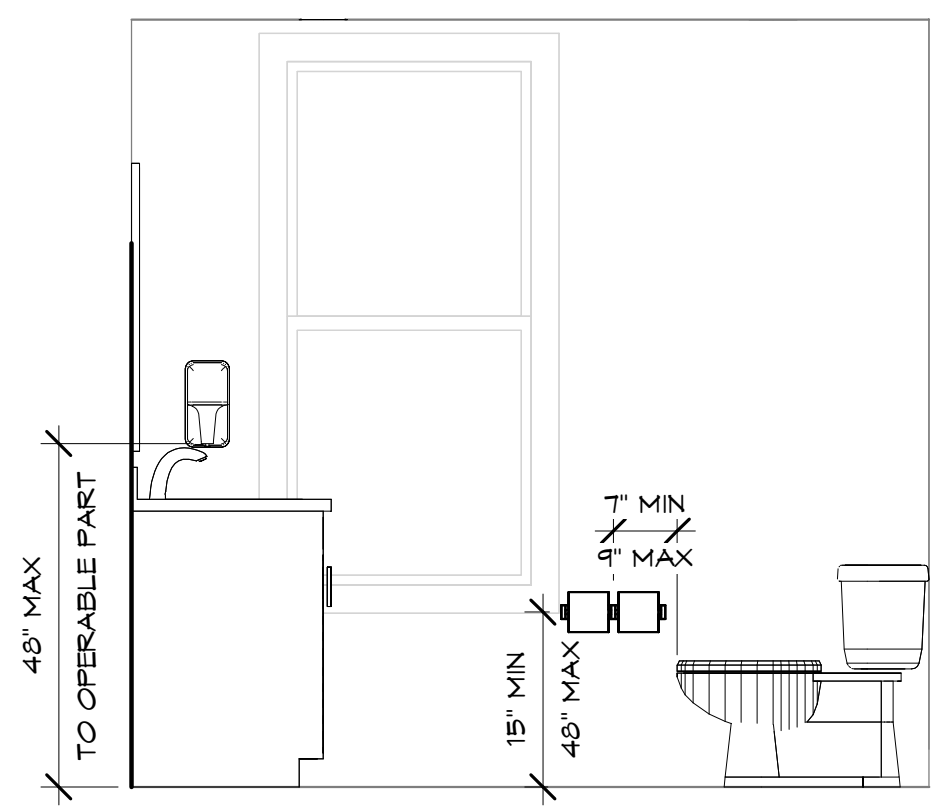
3 ADA LAV 3
A-502 1/2" = 1'-0"



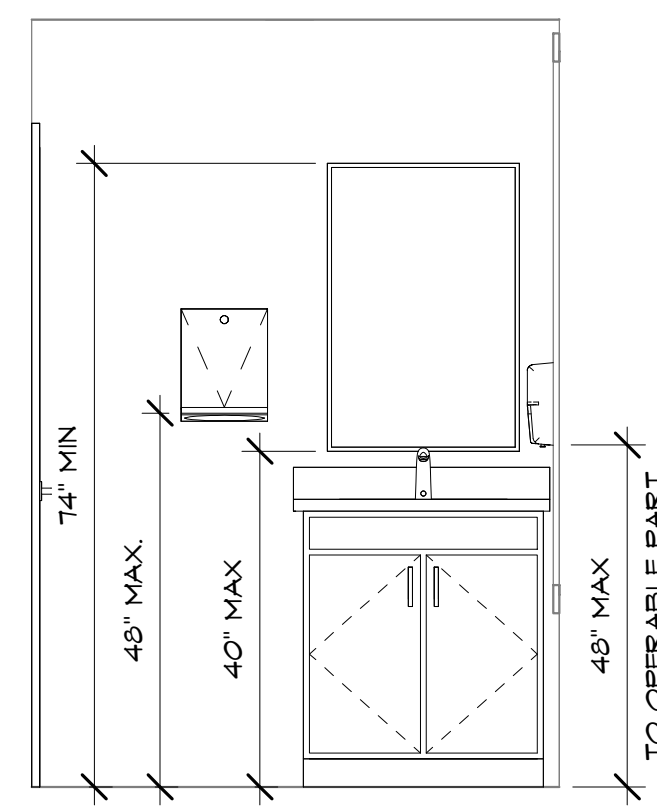
4 ADA LAV 4
A-502 1/2" = 1'-0"



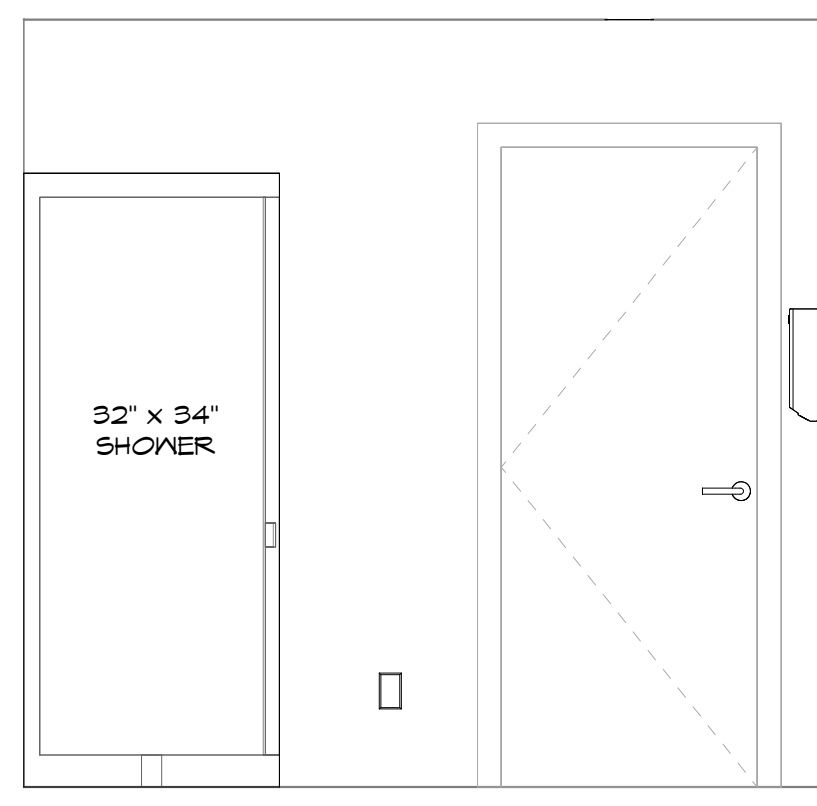
5 ADA LAV DETAIL
A-502 1/2" = 1'-0"



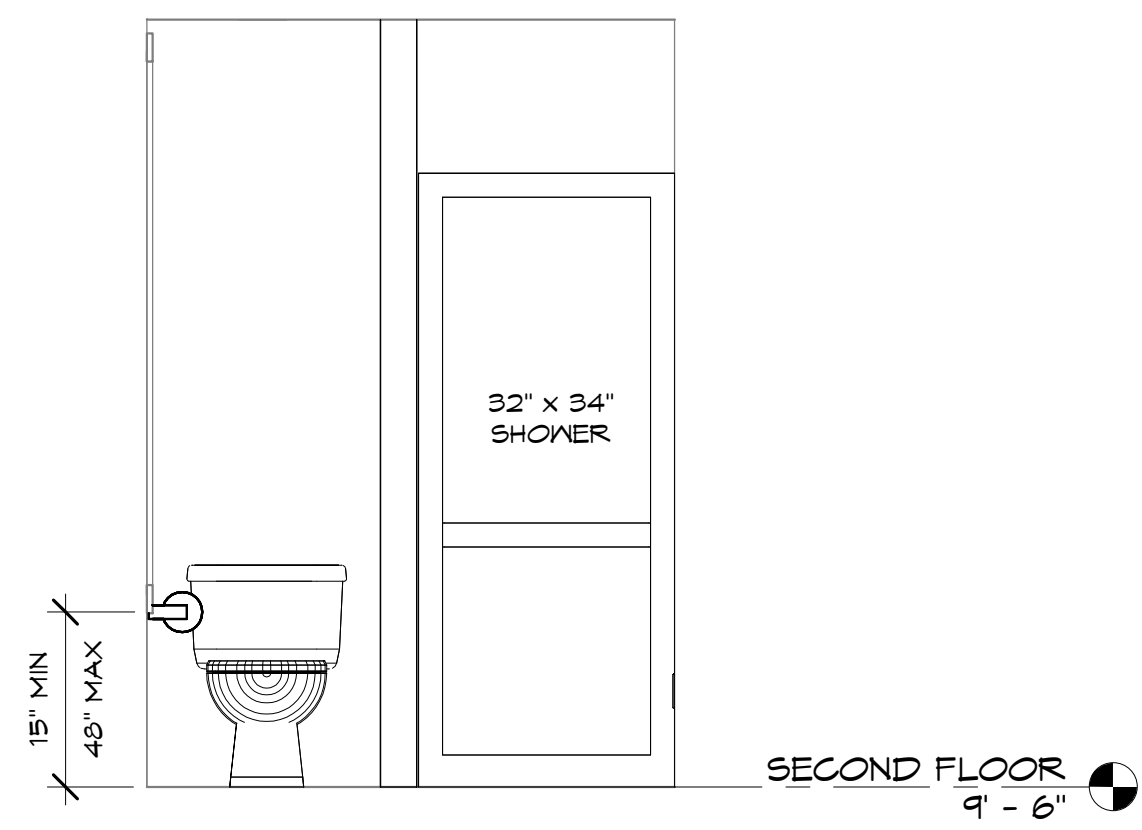
6 BATH 1
A-502 1/2" = 1'-0"



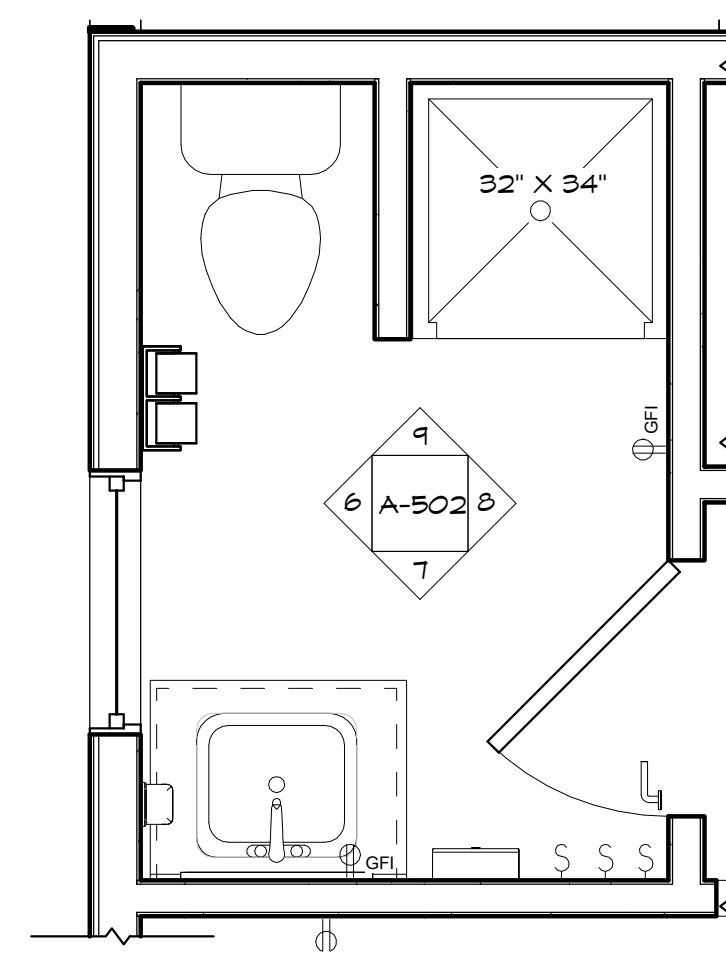
7 BATH 2
A-502 1/2" = 1'-0"



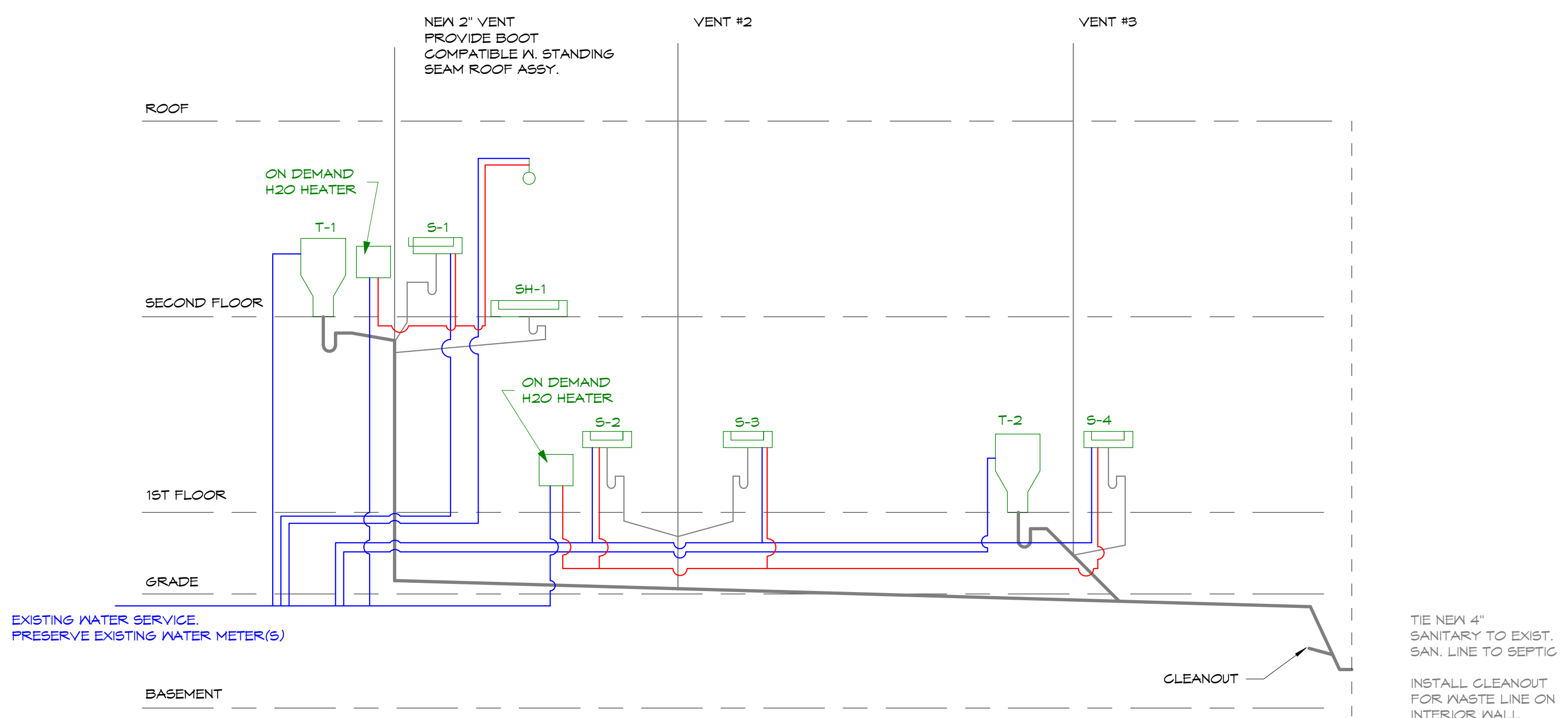
8 BATH 3
A-502 1/2" = 1'-0"



9 BATH 4
A-502 1/2" = 1'-0"



10 SECOND FLOOR BATH DETAIL
A-502 1/2" = 1'-0"



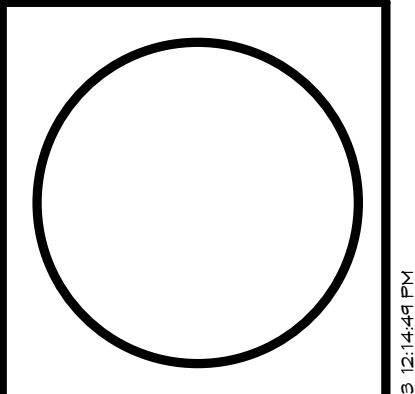
11 PLUMBING DIAGRAM
A-502 1/2" = 1'-0"

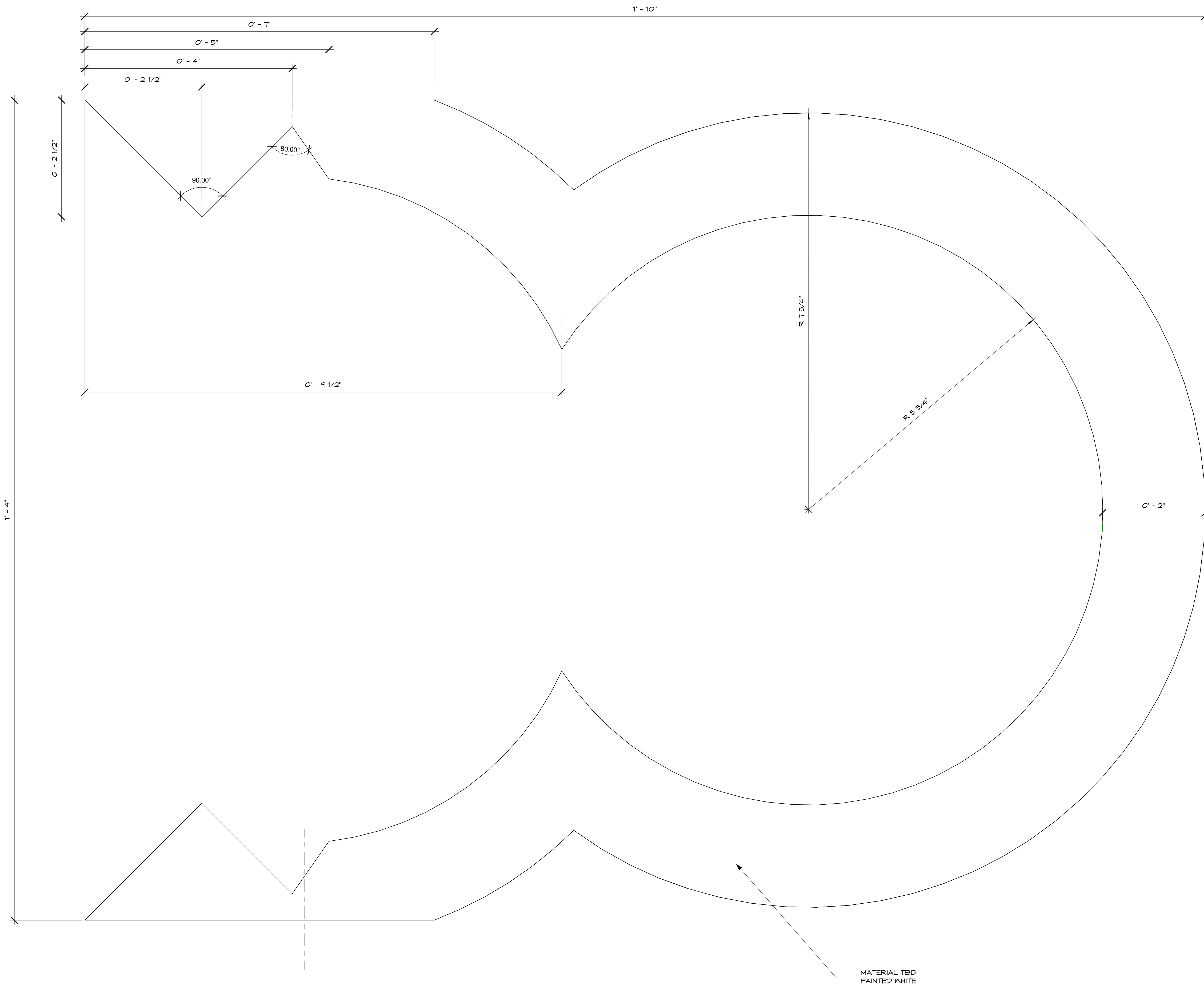
	DESIG.	TYPE	LOCATION	FINISH	FLOW RATE (GPM) *	FLOW PRESSURE (PSI) *	COMMENTS
PLUMBING FIXTURES	S-1	SINK	2ND FL LAV	PORCELAIN	0.8	8	
	S-2	SINK	1ST FL WET LAB	STAINLESS STEEL	1.75	8	
	S-3	SINK	1ST FL KITCHEN	STAINLESS STEEL	1.75	8	
	S-4	SINK	1ST FL ADA LAV	PORCELAIN	0.8	8	
	T-1	TOILET	2ND FL LAV	PORCELAIN	1.6	20	
	T-2	TOILET	1ST FL ADA LAV	PORCELAIN	1.6	20	
	SH-1	SHOWER	2ND FL LAV	STAINLESS STEEL	2.5	8	
	F-5	FAUCET					

* COMPLY WITH MAX. ALLOWED BY 2020 PLUMBING CODE OF NYS
PLUMBING FIXTURES TO BE BRUSHED NICKEL

- PLUMBING FIXTURES BASIS OF DESIGN:**
- S-1 SINK FAUCET CABINET: FRESCA ALLIER 30" CERAMIC DROP IN VANITY TOP W/ SINGLE FAUCET HOLE KOHLER JULY 0.5 GPM SINGLE LEVER HANDLE COMMERCIAL FAUCET DESIGN HOUSE BROOKINGS 30" FREE STANDING WOOD VANITY CABINET, WHITE
 - S-2 SINK FAUCET: MOEN 2000 SERIES 25" DROP IN SINGLE BASIN SS KITCHEN SINK PEERLESS XANDER 1.5 GPM SINGLE HOLE PULL DOWN KITCHEN FAUCET
 - S-3 SINK FAUCET: KOHLER VERSE 33" SINGLE BASIN DROP IN KITCHEN SINK W/SINGLE FAUCET HOLE PEERLESS XANDER 1.5 GPM SINGLE HOLE PULL DOWN KITCHEN FAUCET
 - S-4 SINK FAUCET: AMERICAN STANDARD MURRO 21 1/4" WALL MOUNTED PORCELAIN BATHROOM SINK W/SINGLE FAUCET HOLE KOHLER JULY 0.5 GPM SINGLE LEVER HANDLE COMMERCIAL FAUCET
 - T-1 TOILET: AMERICAN STANDARD H2OPTION ROUND TWO-PIECE DUAL FLUSH TOILET, 0.92/1.28 GPF
 - T-2 TOILET: AMERICAN STANDARD H2OPTION ROUND TWO-PIECE DUAL FLUSH TOILET, 0.92/1.28 GPF
 - SH-1 SHOWER FAUCET: DREAMLINE SLIMLINE SHOWER PACKAGE 32" X 32" MOEN SINGLE HANDLE POSI-TEMP PRESSURE BALANCED SHOWER HEAD FROM THE CHATEAU COLLECTION, 1.75 GPM

TIE NEW 4" SANITARY TO EXIST. SAN. LINE TO SEPTIC
INSTALL GLEANOUT FOR WASTE LINE ON INTERIOR WALL



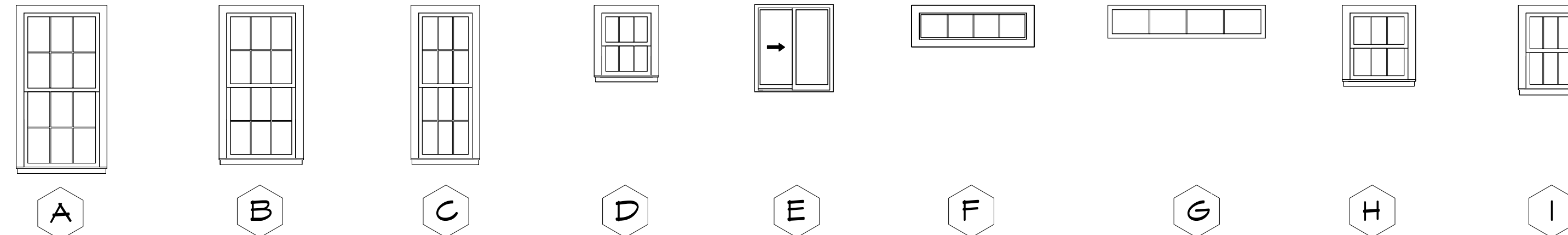


1 CORBEL TEMPLATE
A-503 12" = 1'-0"

ALL WINDOWS TO BE FIELD MEASURED TO CONFIRM SIZE.
REPLACEMENT WINDOWS NOT DIFFER IN SIZE MORE THAN 1/4" FROM ORIGINALS

WINDOW SCHEDULE										
TYPE MARK	COUNT	WIDTH	HEIGHT	Head Height	MANUFAC TURER	MODEL	LITE CUT	SCREEN	OPERATION	COMMENTS
A	1	6' - 0"	1' - 3"	8' - 3 19/32"	MARVIN		4		FIXED TRANSOM	1" IGU W/ ARGON GAS FILL AND LOW E3 COATING
B	1	3' - 0"	3' - 4"	6' - 8"	MARVIN		NONE	NO	SLIDER	SINGLE PANE
C	2	2' - 4"	2' - 8"	7' - 1 1/4"	MARVIN	ULTIMATE	3/3		DOUBLE HUNG	1" IGU W/ ARGON GAS FILL AND LOW E3 COATING
D	2	2' - 0"	3' - 0"	3' - 1 1/2"	MARVIN	ULTIMATE	3/3		DOUBLE HUNG	1" IGU W/ ARGON GAS FILL AND LOW E3 COATING
EX1	4	3' - 0"	6' - 0"	<varies>	MARVIN	ULTIMATE	6/6		DOUBLE HUNG	1" IGU W/ ARGON GAS FILL AND LOW E3 COATING
EX2	4	2' - 9"	5' - 8"	<varies>	MARVIN	ULTIMATE	6/6		DOUBLE HUNG	1" IGU W/ ARGON GAS FILL AND LOW E3 COATING
EX3	3	2' - 2"	5' - 8"	<varies>	MARVIN	ULTIMATE	6/6	<varies>	DOUBLE HUNG	1" IGU W/ ARGON GAS FILL AND LOW E3 COATING
EX4	2	2' - 0"	2' - 6"	6' - 6"	MARVIN	ULTIMATE	3/3		DOUBLE HUNG	1" IGU W/ ARGON GAS FILL AND LOW E3 COATING
EX6	1	4' - 1"	1' - 0"	7' - 6"	MARVIN	(1) 4854	4		FIXED	1" IGU W/ ARGON GAS FILL AND LOW E3 COATING
EX11	2	2' - 0"	4' - 6"	7' - 0"						

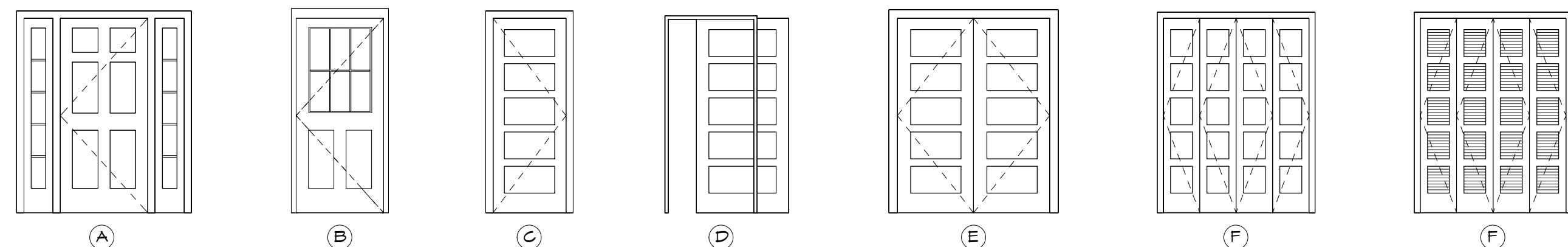
NOTE: COMPLETE WINDOW REPLACEMENT IS AN ADD ALTERNATE



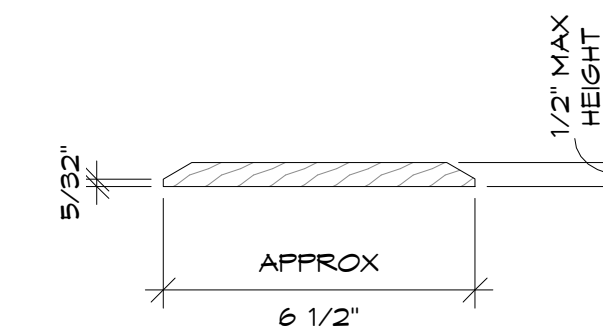
WINDOW LEGEND
1/4" = 1'-0"

DOOR SCHEDULE												
MARK	Type Mark	Width	Height	NEW/EXISTING	Exterior/Interior	Level	ADA SADDLE	U-FACTOR	HAND	HARDWARE NO.	JAMB THICKNESS	Comments
101	A	3' - 0"	6' - 8"	EXISTING	EXTERIOR	FIRST FLOOR	NO	EXISTING	RIGHT HAND INSWING	#1	0' - 4 9/16"	HALF GLASS WITH SIDELIGHTS, INSWING
102	B	3' - 0"	6' - 8"	EXISTING	EXTERIOR	FIRST FLOOR	YES	EXISTING	LEFT HAND INSWING	#2		HALF GLASS, DIVIDED LITES, INSWING
103	B	3' - 0"	6' - 8"	EXISTING	EXTERIOR	FIRST FLOOR	YES	EXISTING	LEFT HAND OUTSWING	#2		HALF GLASS, DIVIDED LITES, OUTSWING
104	B	2' - 6"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	NO	N/A	LEFT HAND	#3		HALF GLASS, NO DIVIDED LITES
105	C	2' - 8"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	NO	N/A	RIGHT HAND	#6		SOLID
106	D	3' - 0"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	NO	N/A	N/A	#7		POCKET DOOR
107	C	3' - 0"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	YES	N/A	RIGHT HAND	#3		SOLID
108	C	3' - 0"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	YES	N/A	LEFT HAND	#4		SOLID
109	E	5' - 2 11/16"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	NO	N/A	N/A	#3		DOUBLE DOOR - TEMPERED GLASS
110	C	2' - 8"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	NO	N/A	RIGHT HAND	#5		SOLID
111	C	2' - 8"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	NO	N/A	LEFT HAND	#5		SOLID
112	C	2' - 0"	5' - 8"	EXISTING	INTERIOR	FIRST FLOOR	NO	N/A	LEFT HAND	N/A		EXISTING TO REMAIN
114	C	2' - 8"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	YES	N/A	RIGHT HAND	#3		SOLID
116	C	2' - 8"	6' - 8"	NEW	INTERIOR	FIRST FLOOR	NO	N/A	RIGHT HAND	#5		SOLID
117	B	3' - 0"	7' - 2"	EXISTING	EXTERIOR	FIRST FLOOR	N/A	N/A	LEFT HAND	N/A		EXISTING TO REMAIN
201	C	2' - 8"	6' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	RIGHT HAND	#4		SOLID
202	C	3' - 0"	6' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	RIGHT HAND	#6		SOLID
203	C	3' - 0"	6' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	LEFT HAND	#6		SOLID
204	C	2' - 6"	5' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	LEFT HAND	#5		SOLID
205	C	2' - 8"	6' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	LEFT HAND	#3		SOLID
206	C	2' - 8"	6' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	LEFT HAND	#3		SOLID
207	C	2' - 8"	6' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	RIGHT HAND	#3		SOLID
208	C	2' - 8"	6' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	LEFT HAND	#3		SOLID
209	F	4' - 11"	6' - 8"	NEW	INTERIOR	SECOND FLOOR	N/A	N/A	N/A	#6 (2)		BI-FOLD DOOR - VENTED PANELS
210	C	2' - 0"	4' - 0"	EXISTING	INTERIOR	ADDITION LEVEL	N/A	N/A	RIGHT HAND	N/A		EXISTING TO REMAIN

NOTES:
ALL DOORS AND JAMBS TO BE FIELD MEASURED TO CONFIRM SIZE.
EXTERIOR THRESHOLDS AND INTERIOR DOOR SADDLES ON FIRST FLOOR TO BE ADA COMPLIANT AS NOTED ABOVE, SEE 1/A-601 AND 9/A-501



DOOR LEGEND
1/4" = 1'-0"



1
A-601
INTERIOR ADA DOOR SADDLE
3" = 1'-0"

HARDWARE SET #1
1. (3) STANDARD 4" x 4" BALL BEARING HINGES
OIL RUBBED BRONZE OR EQ.
2. EXTERIOR: SECTIONAL HANDLE SET
INTERIOR: PASSAGE DOOR KNOB
OIL RUBBED BRONZE OR EQ.
3. SINGLE CYLINDER DEADBOLT
OIL RUBBED BRONZE OR EQ.
4. WALL MOUNTED DOOR STOP
OIL RUBBED BRONZE OR EQ.

HARDWARE SET #2
1. (3) STANDARD 4" x 4" HINGES
OIL RUBBED BRONZE OR EQ.
2. KEYED ENTRY LEVER SET
OIL RUBBED BRONZE OR EQ.
3. SINGLE CYLINDER DEADBOLT
OIL RUBBED BRONZE OR EQ.
4. WALL MOUNTED DOOR STOP
OIL RUBBED BRONZE OR EQ.

HARDWARE SET #3
1. (3) STANDARD 4" x 4" HINGES
OIL RUBBED BRONZE OR EQ.
2. KEYED DOOR LEVER SET
OIL RUBBED BRONZE OR EQ.
3. WALL MOUNTED DOOR STOP
OIL RUBBED BRONZE OR EQ.
4. WALL MOUNTED DOOR STOP
OIL RUBBED BRONZE OR EQ.

HARDWARE SET #4
1. (3) STANDARD 4" x 4" HINGES
OIL RUBBED BRONZE OR EQ.
2. PRIVACY DOOR LEVER SET
OIL RUBBED BRONZE OR EQ.
3. WALL MOUNTED DOOR STOP
OIL RUBBED BRONZE OR EQ.

HARDWARE SET #5
1. (3) STANDARD 4" x 4" HINGES
OIL RUBBED BRONZE OR EQ.
2. PASSAGE DOOR LEVER SET
OIL RUBBED BRONZE OR EQ.
3. WALL MOUNTED DOOR STOP
OIL RUBBED BRONZE OR EQ.

HARDWARE SET #6
1. (3) STANDARD 4" x 4" HINGES
OIL RUBBED BRONZE OR EQ.
2. SINGLE DUMMY LEVER HANDLE
OIL RUBBED BRONZE OR EQ.

HARDWARE SET #7
1. PASSAGE POCKET DOOR SET
OIL RUBBED BRONZE OR EQ.

BID SET NOT FOR CONSTRUCTION

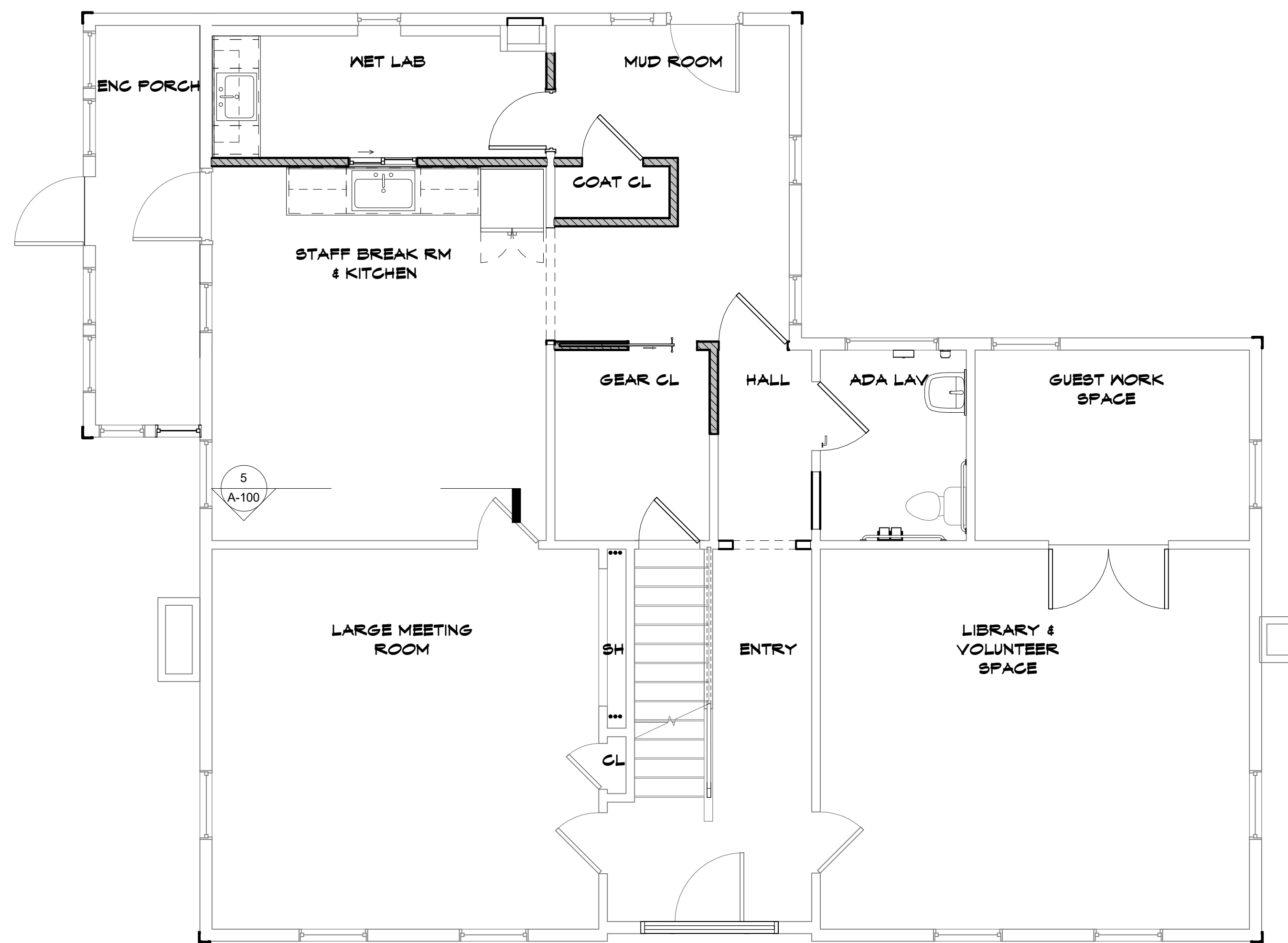
ALFANDRE ARCHITECTURE
Creating spaces and places of lasting beauty
231 Main Street, Suite 201 New Paltz, NY 12561
845.255.4774
www.alfandre.com

CONSTRUCTION DOCUMENTS
BROOK FARM HOUSE
LENAPE LANE, NEW PALTZ, NY 12561
SCHEDULES

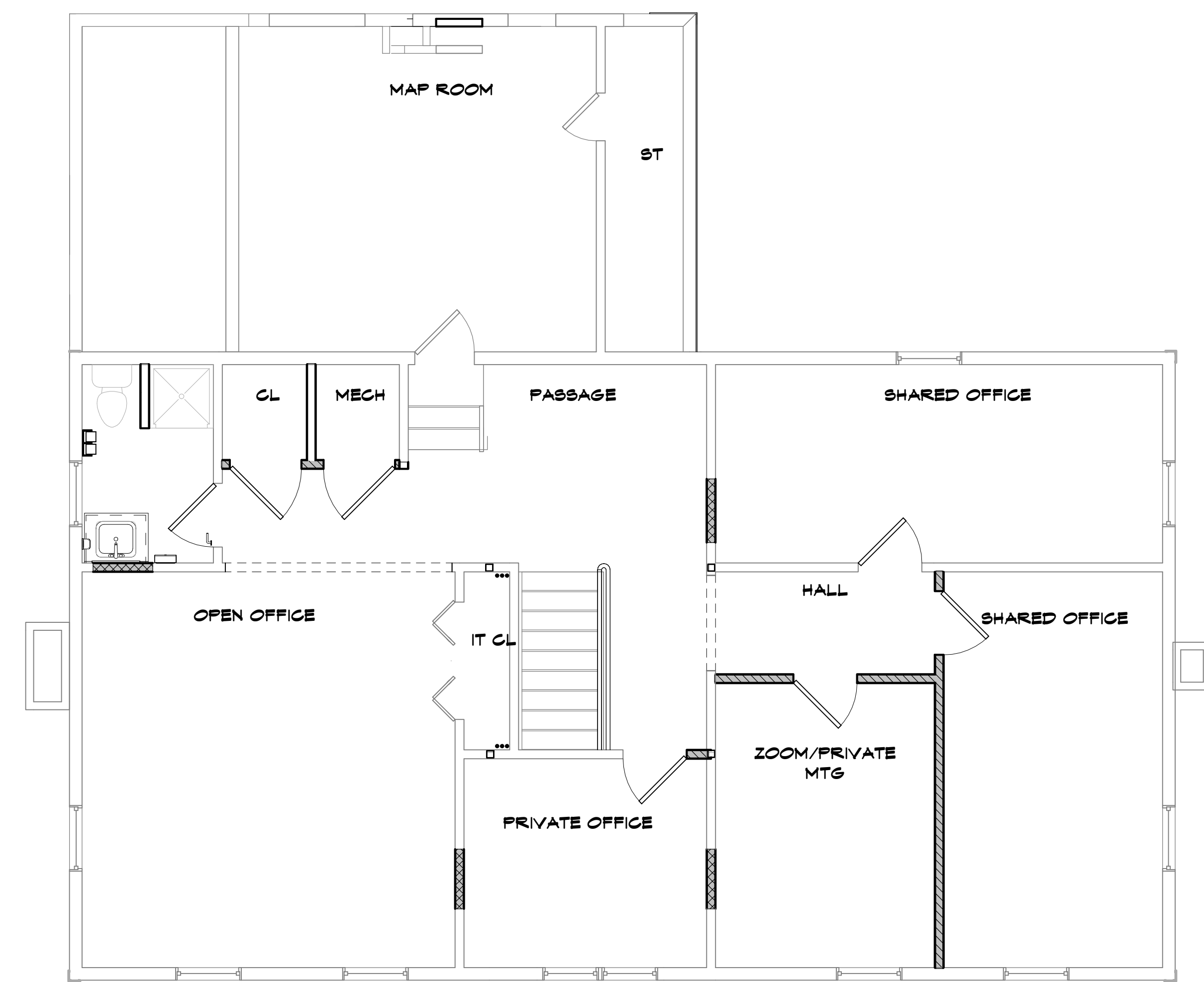
DRAWN BY:
RDG
PROJECT NO:
22-107
DATE:
07-05-2023

A-601

IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT
1/26/2023 10:48:55 PM



1 FIRST FLOOR PLAN FINISHES
 A-602 1/4" = 1'-0"



2 SECOND FLOOR PLAN FINISHES
 A-602 1/4" = 1'-0"

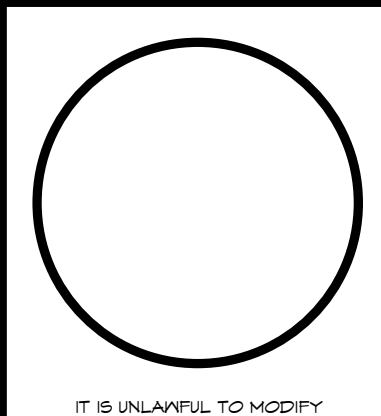
ROOM FINISH SCHEDULE

Level	Room Name	Floor Material	Floor Finish	Base Material	Base Finish	Wall Material	Wall Finish	Ceiling Material	Ceiling Finish	Comments
FIRST FLOOR	STAFF BREAK RM & KITCHEN	LVT	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	LIBRARY & VOLUNTEER SPACE	HARDWOOD	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	ADA LAV	LVT	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, MINDY SKY	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	MUD ROOM	LVT	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	GEAR CL	LVT	TBD	1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	ENG PORCH	EXISTING	EXISTING	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - SATIN FINISH, WHITE	BEAD BOARD	PAINTED - SEMI-GLOSS WHITE	
FIRST FLOOR	WET LAB	LVT	TBD	EXISTING & 1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	GUEST WORK SPACE	HARDWOOD	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	LARGE MEETING ROOM	HARDWOOD	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	COAT CL	LVT	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	HALL	HARDWOOD	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	ENTRY	HARDWOOD	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	SH	HARDWOOD	TBD	EXISTING & 1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	GWB	PAINTED - ULTRA FLAT WHITE	
FIRST FLOOR	CL	HARDWOOD	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	MAP ROOM	HARDWOOD	TBD	EXISTING & 1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	SHARED OFFICE	HARDWOOD	EXISTING	EXISTING & 1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	OPEN OFFICE	HARDWOOD	EXISTING	EXISTING & 1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	BATH	LVT	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, MINDY SKY	EXISTING	PAINTED - SEMI-GLOSS WHITE	
SECOND FLOOR	PRIVATE OFFICE	EXISTING	EXISTING	EXISTING & 1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	ZOOM/PRIVATE MTG	EXISTING	EXISTING	EXISTING & 1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	SHARED OFFICE	EXISTING	EXISTING	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	CL	EXISTING	EXISTING	EXISTING	PAINTED - SEMI-GLOSS WHITE	GWB	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	PASSAGE	EXISTING	EXISTING	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	HALL	EXISTING	EXISTING	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	IT CL	EXISTING	EXISTING	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	MECH	LVT	TBD	EXISTING	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	
SECOND FLOOR	ST	HARDWOOD	EXISTING	1x6 WOOD	PAINTED - SEMI-GLOSS WHITE	EXISTING	PAINTED - EGGSHELL FINISH, BUTTER PECAN	EXISTING	PAINTED - ULTRA FLAT WHITE	

BID SET NOT FOR CONSTRUCTION

DRAWN BY:
 RDG
 PROJECT NO:
 22-107
 DATE:
 07-05-2023

A-602



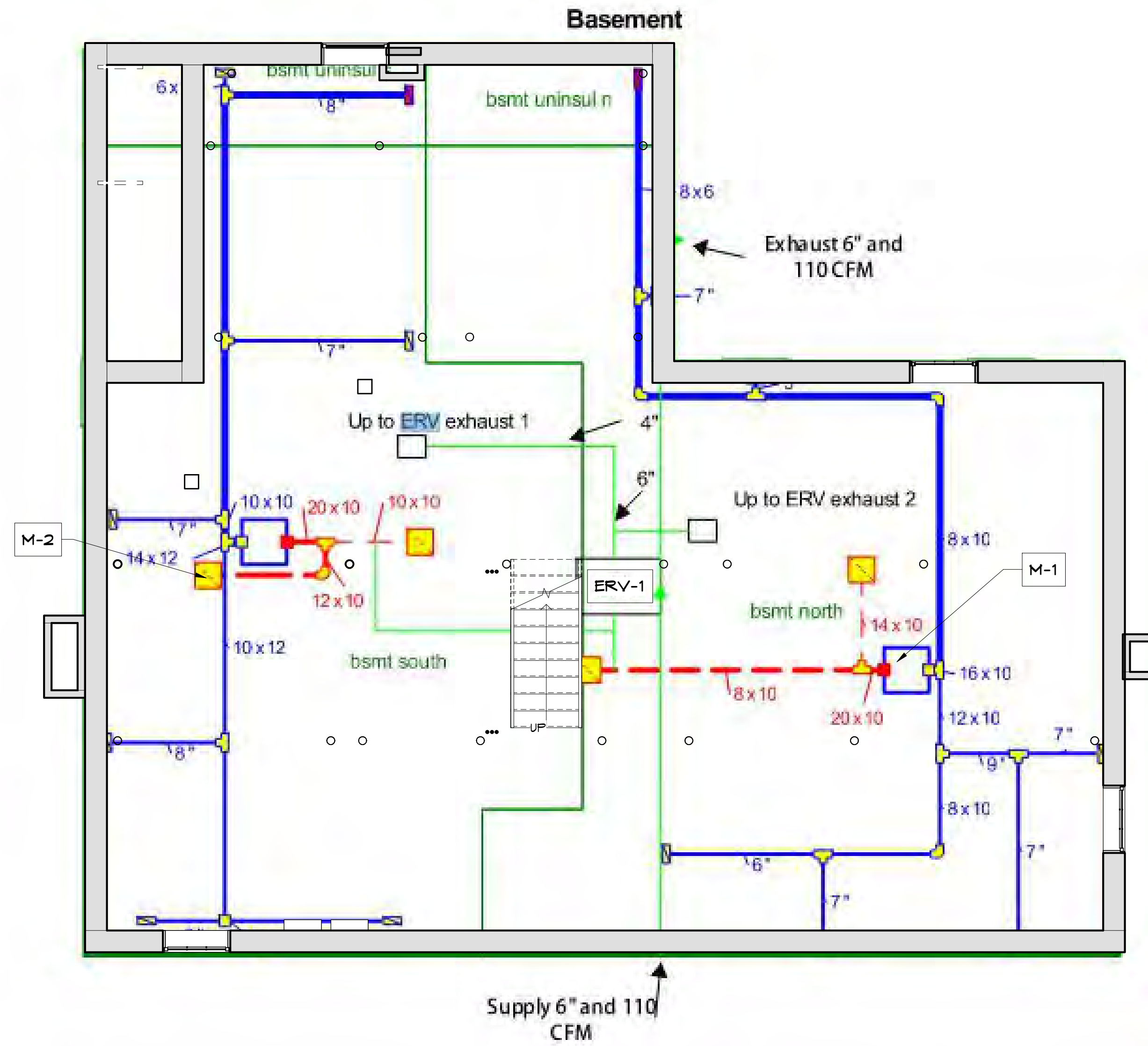
IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

NOTES:
 VIBRATION ISOLATION IS REQUIRED ON ALL AIR HANDLING UNITS.
 NEOPRENE PADS SHALL BE PLACED BELOW THE UNIT AND A FLEXIBLE CONNECTOR ATTACHED AT THE SUPPLY AND RETURN DUCT WORK.
 REFER TO MANUAL J CALCULATIONS FOR COMPLETE MECHANICAL EQUIPMENT SPECS.
 HVAC REGISTERS ON FIRST FLOOR TO BE INSTALLED IN EXISTING LOCATIONS AND NEW LOCATIONS IN WALL CAVITIES
 REGISTERS ON SECOND FLOOR TO BE INSTALLED IN THE CEILING

TAG	DESCRIPTION	MAKE	MODEL # HEATING	MODEL # COOLING	COIL
M-1	1ST NORTH	DAIKIN	CONNECTED TO M-2	CONNECTED TO M-2	FXTG38TAV.JJA
M-2	1ST SOUTH	DAIKIN	RXSQ60TEV.JJ	RXSQ60TEV.JJ	FXTG30TAV.JJA
M-3	2ND FLOOR	DAIKIN	DZ1TVSA601B	DZ1TVSA601B	DV60FEED14A

TAG	DESCRIPTION	MAKE	MODEL #	
ERV-1	BASEMENT	BROAN	B110H65RS	SIDE PORTS
ERV-2	2ND FLOOR	BROAN	B110H65RT	TOP PORTS

2 MECHANICAL EQUIPMENT LIST
 M-101 1/2" = 1'-0"



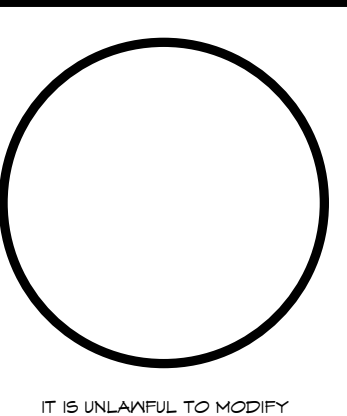
1 BASEMENT MECHANICAL PLAN
 M-101 1/4" = 1'-0"

DRAWN BY:
RDG
 PROJECT NO:
22-107
 DATE:
07-05-2023

M-101

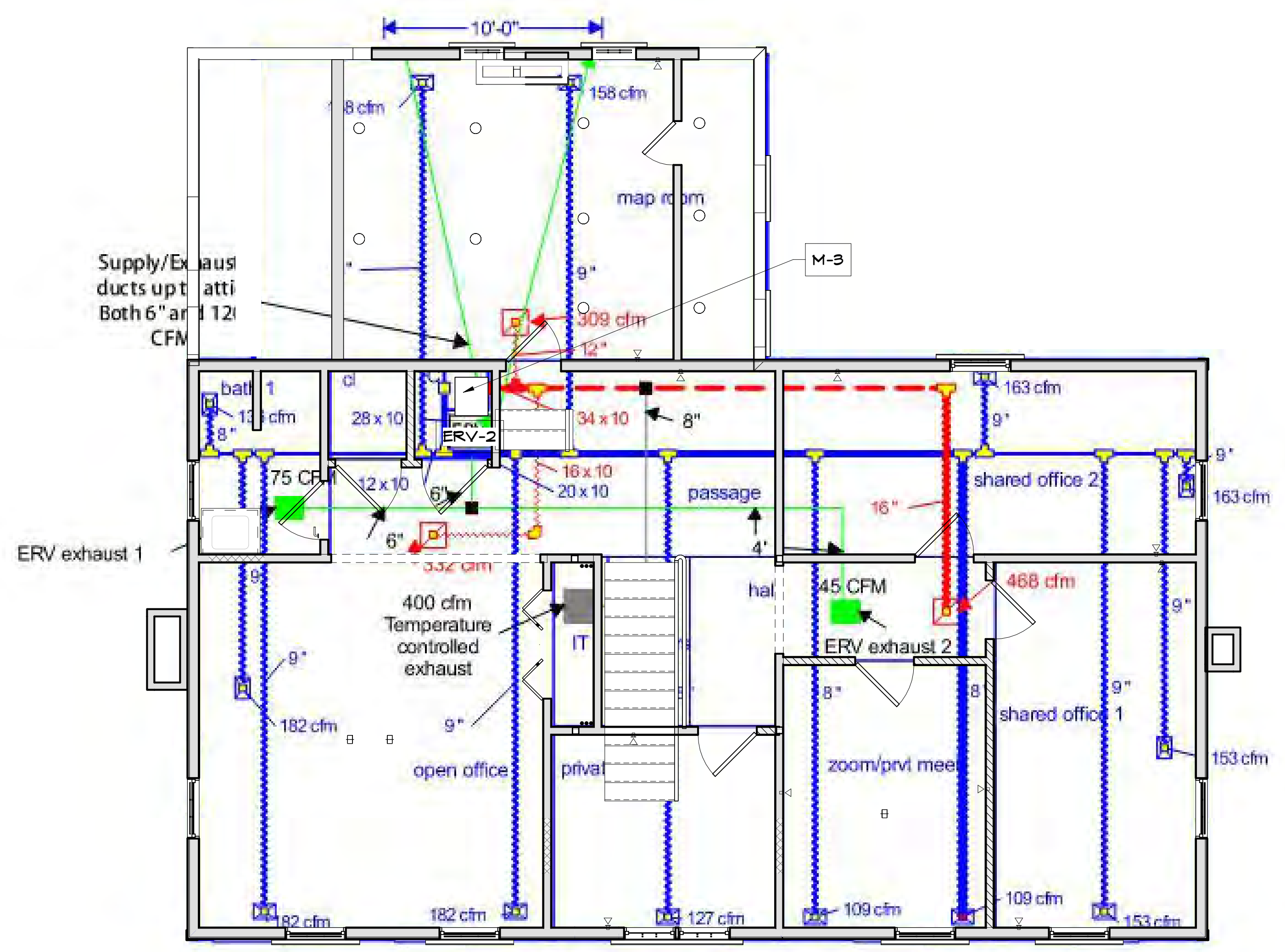
IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

BID SET NOT FOR CONSTRUCTION



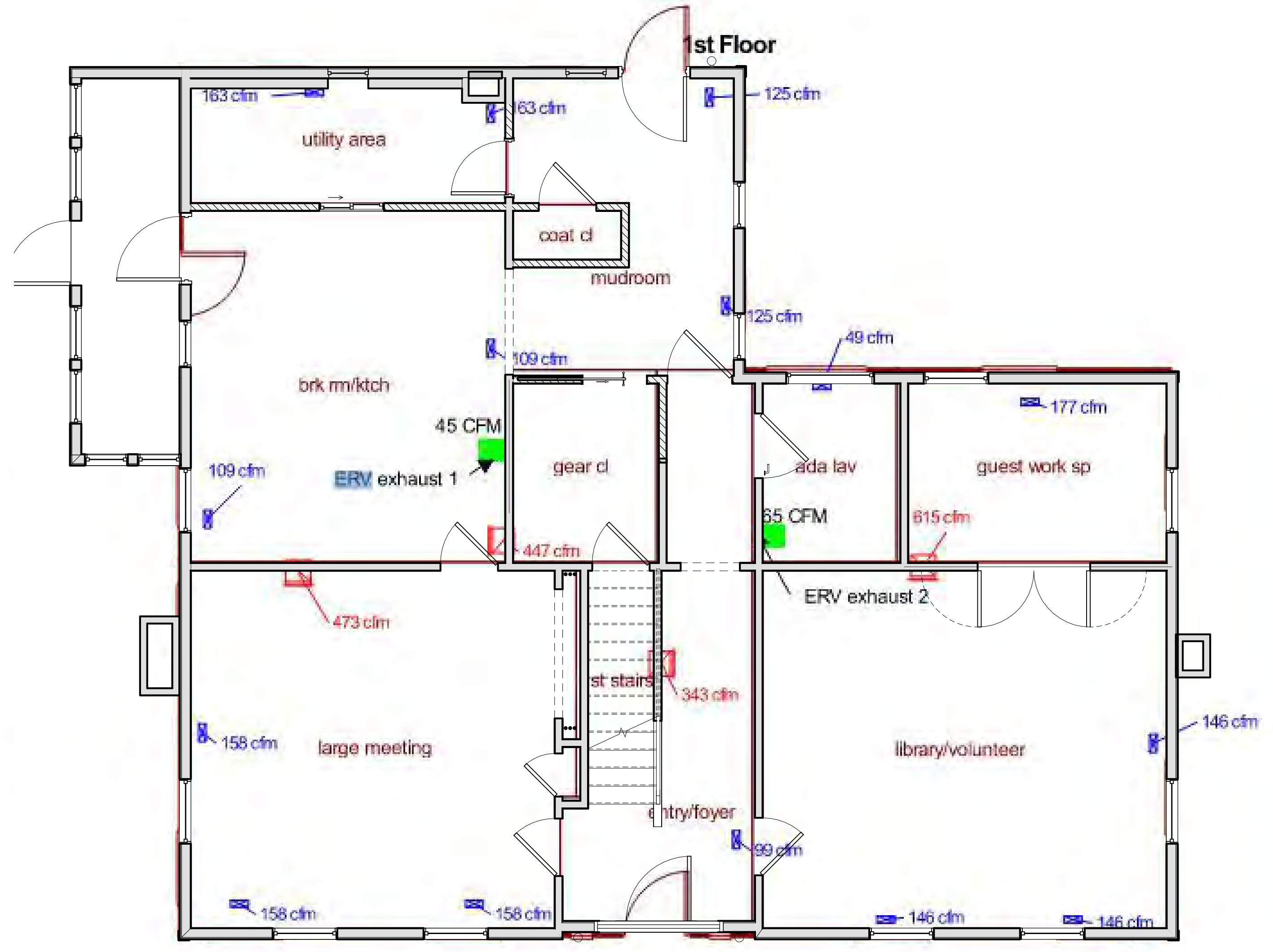
2nd Floor

Supply and Exhaust ports must be no less than 10ft apart



2 SECOND FLOOR MECHANICAL PLAN
 M-102 1/4" = 1'-0"

1st Floor

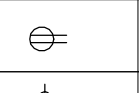


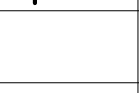


1 FIRST FLOOR MECHANICAL PLAN
 M-102 1/4" = 1'-0"

ELECTRICAL PANEL:
ASSUMED 200 AMP WITH 100 AMP SUB PANEL

ELECTRICAL NOTES:

- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL WIRING, RELATED FIXTURES. ALL WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE AND STATE AND LOCAL CODES AND ORDINANCES. SUBCONTRACTORS SHALL COORDINATE WORK WITH ALL OTHER TRADES. TERMINAL HOOKUP IS REQUIRED ON ALL FIXTURES AND APPLIANCES, MOTORS, FANS AND CONTROLS.
- ELECTRICAL SYSTEM LAYOUTS ARE GENERALLY DIAGRAMMATIC; LOCATIONS OF OUTLETS AND EQUIPMENT IS APPROXIMATE. EXACT ROUTING OF WIRING, LOCATIONS OF OUTLETS SHALL BE GOVERNED BY STRUCTURAL CONDITIONS AND OBSTRUCTIONS. WIRING FOR EQUIPMENT REQUIRING MAINTENANCE AND INSPECTION SHALL BE READILY ACCESSIBLE.
- ALL ELECTRICAL EQUIPMENT, BREAKERS, AND/OR TIME CLOCK CONTROLS SHALL BE PROPERLY LABELED.
- LIGHT CIRCUITS SHALL BE 15 AMP WITH #12 AWG COPPER CONDUCTORS.
- RECEPTACLE CIRCUITS SHALL BE 20 AMP WITH #12 AWG COPPER CONDUCTORS.
- MATERIALS AND EQUIPMENT SHALL BE NEW AND LISTED BY UNDERWRITER'S LABORATORIES, INC. AND BEAR THEIR LABEL WHEREVER STANDARDS HAVE BEEN ESTABLISHED AND THEIR LABEL SERVICE IS REGULARLY FURNISHED.
- VERIFY AND LOCATE ALL RECEPTACLES PRIOR TO INSTALLATION OF DRYWALL.
- INSTALL RECEPTACLES AT 1'-0" TO CENTER LINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
- INSTALL LIGHT SWITCHES AT 3'-6" TO CENTER LINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
- PROVIDE GFI OUTLETS WHERE SHOWN ON PLANS.
- ALL EQUIPMENT INSTALLED AT NET LOCATIONS (BATHROOMS, KITCHENS), OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHER-PROOF.
- ALL FIXTURES CHOSEN BY OWNER/ARCHITECT AND INSTALLED BY CONTRACTOR.
- ALL SWITCHES, RECEPTACLES, COVER PLATES, PHONE AND CABLE JACKS COLOR TO BE WHITE UNO.
- CONTRACTOR TO PROVIDE ALL LINE VOLTAGE TO ALL HEATING & VENTILATION EQUIPMENT, INCLUDING WIRING TO THE UNITS FOR OPERATION.
- ELECTRICAL AND LIGHTING LAYOUT TO BE REVIEWED BY OWNER IN CONSULT WITH THE ARCHITECT BEFORE ROUGH IN.

ELECTRICAL LEGEND	
	WALL OUTLET (DUPLEX)
	SINGLE POLE SWITCH
	GROUND FAULT OUTLET
	COMBO LIGHT AND EXHAUST FAN

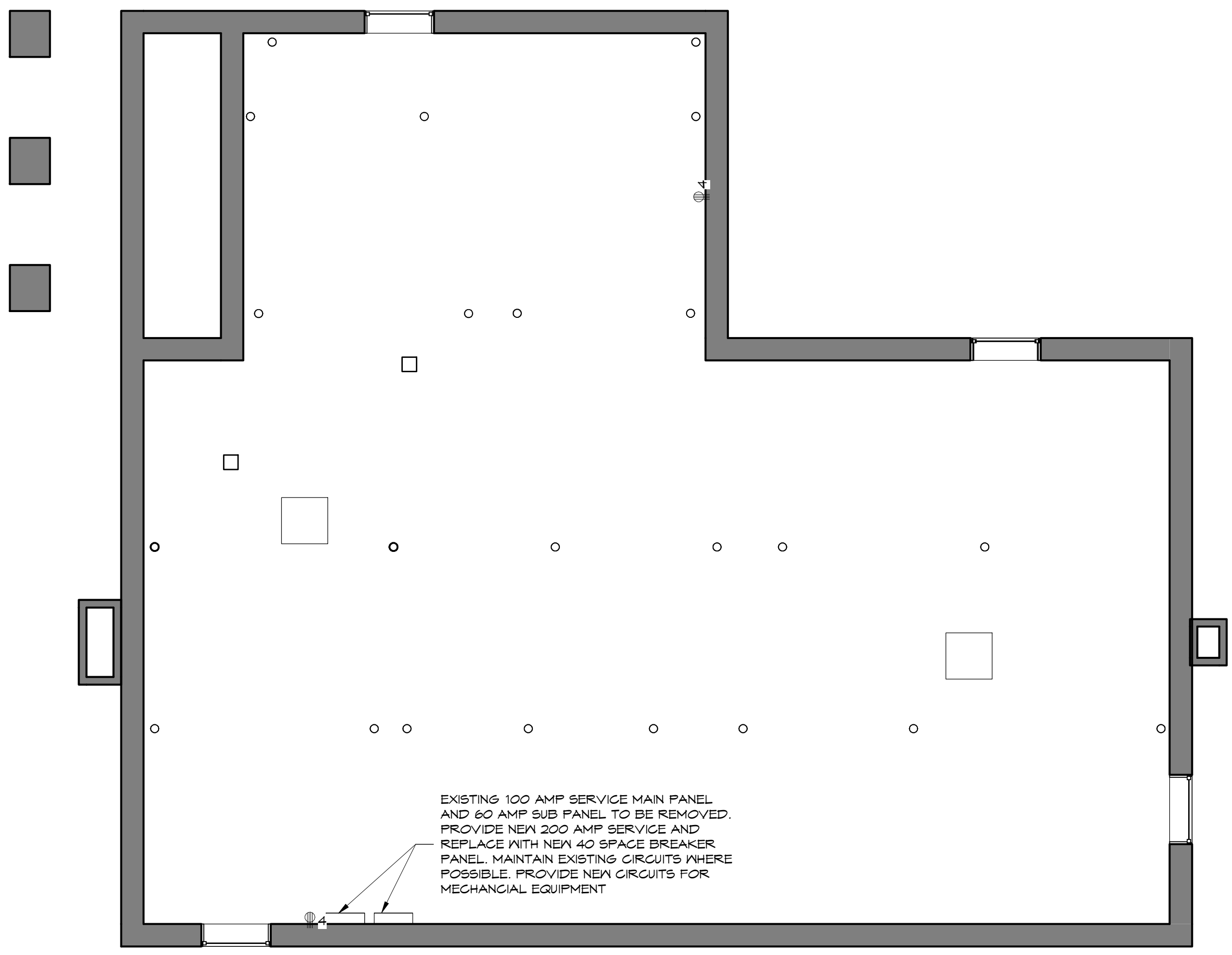
NOTE: ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER/ARCHITECT.

ELECTRICAL FIXTURE SCHEDULE

Count	Family	Type
1	Electric_Meter_13232 (1)	Electric_Meter_13232 (1)
6	Outlet-Floor-Duplex	Single
2	Outlet-Communications	CATV
50	Outlet-Duplex	Single
0	Outlet-GFI	Single
20	Outlet-quad	Single
6	Switch-Dimmer	Dimmer
2	Switch-Dimmer	Dimmer 3 way
14	Switch-Single	Single
4	Switch-Four Way	Four Way
3	Switch-Three Way	Three Way
Grand total: 124		

LIGHTING FIXTURE SCHEDULE

Count	Family and Type	Level	Wattage	Lumens	Color Temperature
46	Downlight - Recessed Can: 6" LED - 120V	FIRST FLOOR	60 W		
55	Downlight - Recessed Can: 6" LED - 120V	SECOND FLOOR	60 W		
5	Wall_Scance - Outdoor-Craftsman: Wall_Scance - Outdoor-Craftsman	FIRST FLOOR	12 W		
Grand total: 106					



1 BASEMENT ELECTRICAL PLAN
E-101 1/4" = 1'-0"

Creating spaces and places of lasting beauty

ALFANDRE ARCHITECTURE

231 Main Street, Suite 201 New Paltz, NY 12561 845.255.4774 www.alfandre.com

CONSTRUCTION DOCUMENTS

BROOK FARM HOUSE

LENAPE LANE, NEW PALTZ, NY 12561

ELECTRICAL PLAN

DRAWN BY:
RDG

PROJECT NO:
22-107

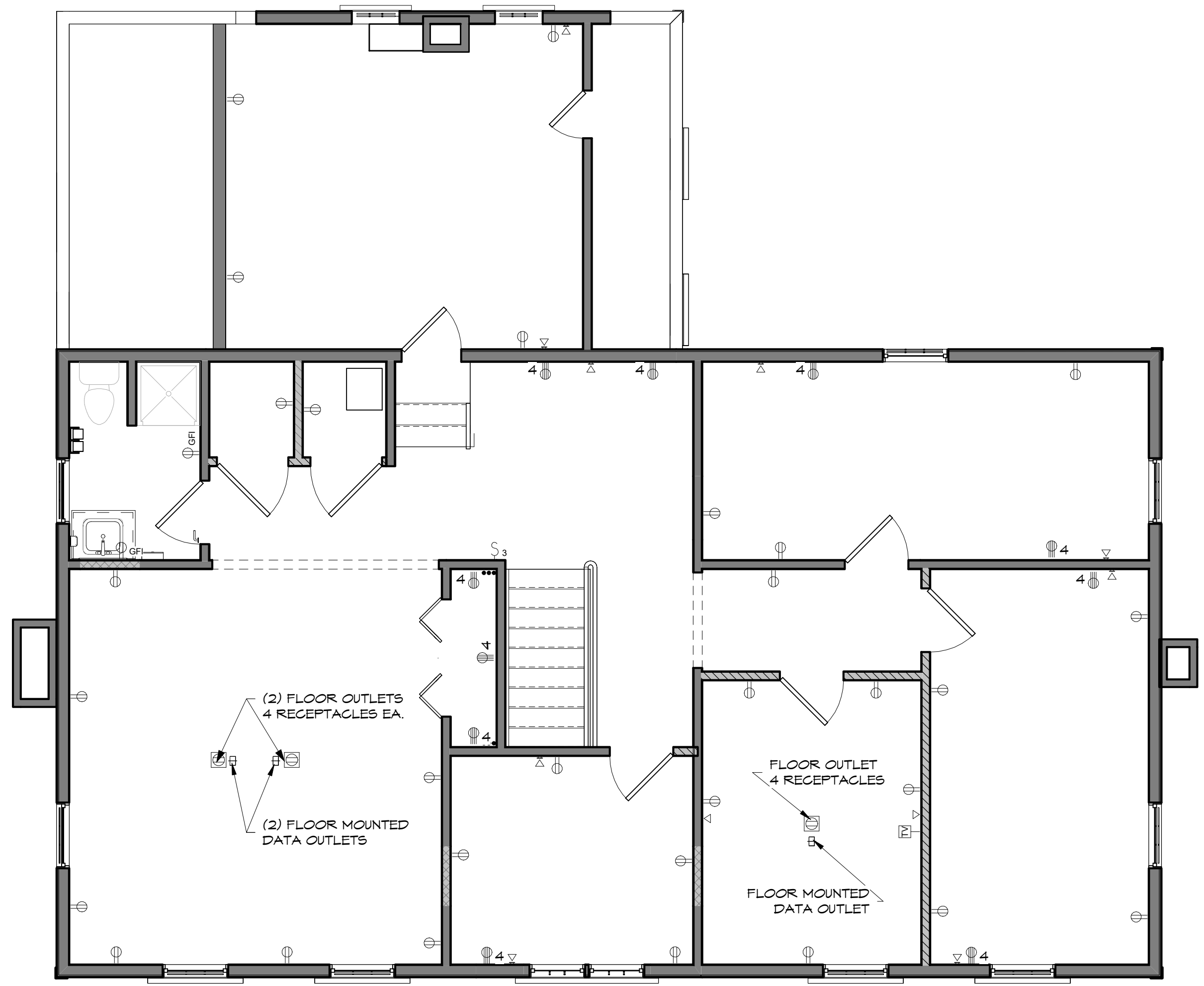
DATE:
07-05-2023

Sheet:
E-101

IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT

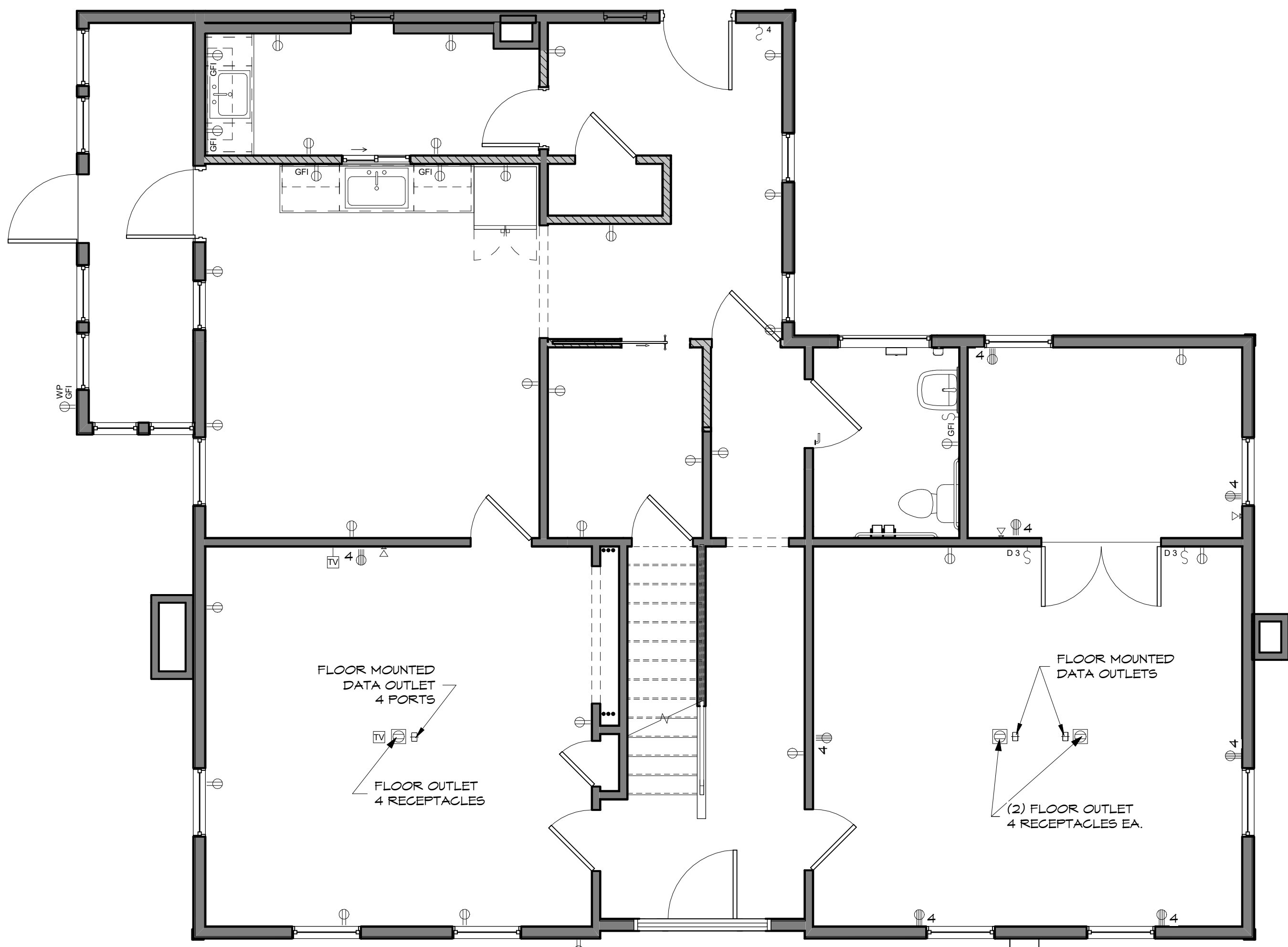
1/26/2023 3:48:54 PM

BID SET NOT FOR CONSTRUCTION



2 SECOND FLOOR ELECTRICAL PLAN
 E-102 1/4" = 1'-0"

NOTE:
 ALL EXISTING OUTLET LOCATIONS UNKNOWN OR APPROXIMATE. PROPOSED LAYOUT IS INTENDED TO MEET
 CODE REGARDING SPACING REQUIREMENTS. ALL EXISTING LOCATIONS SHOULD BE V.I.F. ANY
 DISCREPANCIES OR COST-PROHIBITIVE RELOCATION OF OUTLETS MUST BE BROUGHT TO THE
 OWNER/ARCHITECT ATTENTION.



1 FIRST FLOOR ELECTRICAL PLAN
 E-102 1/4" = 1'-0"

SYMBOL LEGEND

△	DATA OUTLET; WALL MOUNTED
□	DATA OUTLET; FLOOR MOUNTED
⊕	DUPLEX OUTLET
⊕	SPLIT DUPLEX OUTLET (4 RECEPTACLES TOTAL)
⊕	GFI OUTLET
⊕	WEATHER PROOF OUTLET
⊕	FLOOR MOUNTED OUTLET
⊕	HDMI/COAXIAL; WALL MOUNTED
⊕	HDMI/COAXIAL; FLOOR MOUNTED

BID SET NOT FOR CONSTRUCTION

DRAWN BY:
 RDG

PROJECT NO:
 22-107

DATE:
 07-05-2023

E-102

IT IS UNLAWFUL TO MODIFY
 A DOCUMENT BEARING THE
 SEAL AND SIGNATURE OF A
 LICENSED ARCHITECT

1/26/2023 10:50:07 PM